

The public may attend the meeting in person or view it online.

**Board of Zoning Appeals Meeting Agenda
City of Prairie Village
7700 Mission Road
Council Chambers
Tuesday, May 5, 2026
6:00 PM**

I. Roll Call

II. Approval of BZA Minutes

- A. Approval of Board of Zoning Appeals Minutes - November 10, 2025

III. Public Hearings

- A. BZA2026-01 Variance increase of the permitted building coverage from 30% to 31.78%
5225 W. 69th Terrace
Zoning: R-1A
Applicant: Kevin Tran
- B. BZA2026-02 Variance to the cumulative side setback from 16 feet to 14.84 feet
2000 W. 71st Street
Zoning: R-1B
Applicant: William Trakas
- C. BZA2026-03 Variance to the cumulative side yard setback from 18.4 feet to 12.9 feet
5112 W. 67th Street
Zoning: R-1A
Applicant: William Trakas
- D. BZA2026-04 Variance to the cumulative side setback from 16 feet to 9.9 feet
7808 Cambridge Street
Zoning: R-1B
Applicant: Wade Holtcamp

IV. Other Business

V. Adjournment

Plans available at City Hall if applicable. If you cannot be present, comments can be made by e-mail to cityclerk@pvkansas.com

***Any Commission members having a conflict of interest, shall acknowledge that conflict prior to the hearing of an application, shall not participate in the hearing or discussion, shall not vote on the issue and shall vacate their position at the table until the conclusion of the hearing.**

If any individual requires special accommodations – for example, qualified interpreter, large print, reader, hearing assistance – in order to attend the meeting, please notify the City Clerk at 913-385-4616, no later than 48 hours prior to the beginning of the meeting.

**BOARD OF ZONING APPEALS
CITY OF PRAIRIE VILLAGE, KANSAS
MINUTES
MONDAY, NOVEMBER 10, 2025**

ROLL CALL

The meeting of the Board of Zoning Appeals of the City of Prairie Village, Kansas was held on Monday, November 10, 2025, at 6:00 p.m. in the council chambers of the municipal building at 7700 Mission Road. Vice-Chair Melissa Brown called the meeting to order at 6:00 p.m. with the following members present: David Herron, James Kersten, Gregory Wolf, Melissa Temple, and Jeffrey Valentino.

The following individuals were present in their advisory capacity to the Board of Zoning Appeals: Chris Brewster, Multistudio; Nickie Lee, Deputy City Administrator; Terry O’Toole, Council Liaison; Adam Geffert, City Clerk/Board Secretary.

APPROVAL OF MINUTES

Mr. Wolf moved for the approval of the minutes of the October 7, 2025, Board of Zoning Appeals meeting as presented. Ms. Temple seconded the motion, which passed 6-0.

PUBLIC HEARINGS

BZA2025-03 Variance increase to the permitted building coverage from 30% to 32.19%
6748 Fontana Street
Zoning: R-1B
Applicant: Doug LeVota

Mr. Brewster said that the applicant was requesting a variance for building coverage standards from 30% to 32.19%. The application was continued from the previous board of zoning appeals meeting, at which the applicant was asked to provide more information to meet the “uniqueness” factor, as well as photos of the deck, pergola and shed.

The application is for the tear down of an existing home and a rebuild of a new home. A combination of the proposed principal building, as well as retaining an existing deck with pergola and accessory shed would exceed the allowed 30% building coverage. The lot is 7,723.8 s.f. and is approximately 65’ wide by 120’ deep. It is situated mid-block on the west side of Fontana Street between 67th Street and 69th Street. All properties in the vicinity are zoned R-1B and used for single-family homes.

R-1B lots allow no more than 30% building coverage and 40% impervious coverage. The building coverage limit addresses building scale and massing in relation to the lot and includes all structures over 30" (principal and accessory). The impervious coverage limit addresses drainage in relation to the lot, and includes all impervious surfaces.

Mr. Brewster said that the application proposed the following structures:

- House: 2,301 s.f.
- Shed (existing): 121.92 s.f.
- Deck w/ pergola (existing): 63.89 s.f.
- Total building coverage: 2,486.81 s.f.

In total, the structures result in 32.19% building coverage, exceeding the 30% limit by 2.19% or 169.67 s.f. The proposed impervious coverage is 3,363.5 s.f., which is less than the permitted impervious coverage limit for this lot, which is 3,389.52 s.f. (40% of lot, plus 300 s.f. exemption for lots under 10,000 s.f.).

Mr. Brewster stated that Section 19.54.030 of the city's zoning regulations requires the board to find that all five of the following conditions are met to grant a variance. If the board finds that any one of these conditions is not met, a variance should not be granted:

A. Uniqueness

That the variance requested arises from such condition which is unique to the property in question and which is not ordinarily found in the same zone or district; and is not created by an action or actions of the property owner or the applicant.

In order for the property to meet the condition of uniqueness, it must have some peculiar physical surroundings, shape, or topographical condition that would result in a practical difficulty as distinguished from a mere inconvenience to utilize the property without granting the variance.

The property meets the minimum requirements for R-1B lots and is 65' by 120' (60' x 100' is the minimum). It is situated mid-block among similar lots on both sides of the street, ranging from approximately 62' wide to 75' wide. The primary differences in width or depths generally occur at corner lots or are due to a slight curve of the block. There is an irregular pattern of larger lots to the north that results from a cross-block drainage easement that passes in an east-west fashion across all blocks in this area.

Based on standard setbacks, this lot results in an approximate 3,380 s.f. buildable area, of which up to 2,317.14 s.f. can be utilized due to the 30% building coverage limit. Additionally, any accessory structures over 30" in height also counts toward the building coverage limit. In this case, that includes the existing shed and deck with a pergola which are proposed to be retained.

B. Adjacent Property

That the granting of the permit for the variance would not adversely affect the rights of adjacent property owners or residents.

Building setbacks are the primary standard that manage impacts on adjacent property, and this application meets all setbacks (8.8' on the south where 6' is required; 6' on the north where 6' is required; and 14.8' combined where 13' is required). The existing shed which is proposed to be retained also meets setbacks applicable to accessory structures (4.5' from rear and 6.8' from side, where 3' is required). However, the combination of the proposed principal building (2,301 s.f.), deck and pergola (63.89 s.f.), and shed (121.92 s.f.) exceeds the 30% cumulatively by 169.67 s.f., or 2.19%.

C. Hardship

That the strict application of the provisions of these regulations from which a variance is requested will constitute an unnecessary hardship upon the property owner represented in the application.

The lot has approximately 2,317.14 s.f. of buildable area based on a total lot size of 7,723.8 s.f. Based on the proposed plan, the applicant would need to remove 169.67 s.f. to meet the 30% building coverage standard. This would require either removal of the shed and deck, or reduction in the footprint of the principal building. The proposed principal building has a 2,301 s.f. footprint, while the existing principal structure to be removed is approximately 1,600 s.f. Other new homes in the area have a similar or larger footprint than is proposed for this house; however, those that are larger tend to not have a shed or raised deck with a pergola, or are on slightly larger lots.

D. Public Interest

That the variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare.

The proposed application is a tear down and rebuild of an existing structure. Prairie Village zoning regulations regulates a balance between necessary reinvestment in neighborhoods with impacts on the character of the neighborhood and general community. The proposed new building meets all standards except the building coverage standard. Granting the variance would allow the applicant to retain the existing shed and a proposed deck with a pergola and not be required to reduce the footprint of the proposed house. This would allow 2.19% more building coverage than permitted by the zoning regulations, or 169.7 s.f. All proposed improvements are under the impervious cover limit for the lot.

E. Spirit and Intent of the Regulation

That the granting of the variance desired would not be opposed to the general spirit and intent of these regulations.

The building coverage standard is intended to regulate the scale and mass of residential buildings in relation to lots. It applies in addition to the height, setback, and massing standards for the principal building, and it applies to any structure over 30” in height. This standard works independently of setbacks and impervious coverage standards to limit the extent of vertical structures on a lot and preserve open areas on the lot. In this application the structures meet all height, setback, and impervious coverage standards, and generally have an appropriate relationship to adjacent property, but exceed the building coverage standard by 2.19%.

Mr. Brewster said that after reviewing the information submitted and considering the testimony during the public hearing, if the board finds that all five conditions are met as required by state statutes and Section 19.54.030 of the city’s zoning regulations, then it may grant the variance. If the board does approve the variance, it should be subject to the following conditions:

1. That the variance be granted only to the extent shown with the submitted application and based on submitted plans.
2. The applicant shall revise all drainage permit application materials to show all approved and proposed impervious surfaces.
3. The variance, if approved, shall be recorded with the county register of deeds within one year of approval.

Applicant and property owner Doug LeVota was present to discuss the application. Mr. LeVota stated that the pergola was smaller than the deck itself, and therefore the area higher than 30” was actually less than noted in the staff report. Additionally, he provided more detailed information about the structures in the rear yard.

Mr. Wolf asked how the lot compared to other R-1B lots in Prairie Village. Mr. LeVota said that information he had received from Johnson County indicated that only 4.4% of lots were smaller in zip code 66208, which met the criteria for uniqueness. Mr. Brewster added that the lot was one of the smaller lots on the block as well.

Mr. Herron asked whether the new home construction had been completed. Mr. LeVota said that the home was approximately 50% complete, and the pergola was nearly complete. Mr. Herron noted that board members had asked Mr. LeVota to speak to his architect at the previous meeting to determine why the shed and deck were not included in the plans that were initially submitted to the city. Mr. LeVota said that he had spoken to the architect and that they demanded \$3,000 to make additional changes to the plans.

Mr. Wolf stated that he didn’t believe that simply having a small lot met the uniqueness factor for the application. Mr. LeVota said that he believed Kansas case law would allow for his request to be approved. Mr. Valentino added that the dimensions of the lot were common for the R-1B zoning district, and therefore not unique.

After further discussion, Ms. Brown opened the public hearing at 6:47 p.m. With no one present to speak, the public hearing was closed at 6:48 p.m.

Mr. Wolf made a motion to deny the requested variance, stating he did not feel the application met the uniqueness factor. Ms. Temple seconded the motion, which passed 5-1, with Mr. Kersten in opposition.

BZA2025-04 Variance to allow an accessory building to exceed the 576 s.f. limit; and appeal of a staff determination that building is a detached “accessory living quarter”
5112 W. 67th Street
Zoning: R-1A
Applicant: William Trakas

Mr. Brewster said that the applicant was requesting a variance to the size limitations for a detached accessory structure, specifically to exceed the 576 s.f. limit for major accessory buildings. Additionally, staff determined that the proposed building would meet the definition of a dwelling unit. Although the city’s zoning regulations allow “accessory living quarters,” they are required to be attached to or included in the principal building, whereas the proposed building is detached. The zoning regulations do not permit the board to grant variances to uses that are not otherwise allowed. Therefore, the applicant is also appealing the determination of staff that the structure is a dwelling unit, and is willing to submit an affidavit or other legal restriction on the property stating such.

Mr. Brewster said that the board would need to make two separate determinations with the application:

- First, regarding the appeal: that with the submission of an affidavit or other legal restriction, the board would not be enabling an unpermitted use with the variance, or alternatively that staff was in error in considering the building a dwelling unit.
- Second, that the proposal meets the five criteria for a variance to the major accessory building square footage limitation.

The property is zoned R-1A and proposes adding to an existing detached accessory building. The existing detached building is approximately 585 s.f. and the proposed building is approximately 777 s.f., with an additional 229 s.f. covered patio. The building is 20’ tall at the highest peak and has a 1.5 story profile with a loft included in the pitched roof. It is approximately 6.33’ from the east (side) property line and 26.33’ from the north (rear) property line. The lot is 20,889 s.f. and is approximately 92’ wide by 227’ deep. It is situated mid-block on the north side of 67th Street between Nall Avenue and Hodges Drive. All properties in the vicinity are zoned R-1A and used for single-family homes, except Nall Avenue Baptist Church on the opposite southwest corner at Nall Avenue.

R-1A zones allow no more than the following:

- 30% Building coverage.
- 40% Impervious coverage.
- Accessory buildings within building coverage, except major accessory buildings, are limited to no more than 576 s.f., and subject to additional design standards.

- Accessory building height / setbacks: 20' / 3'.

Mr. Brewster said that the proposed accessory building met all development and design standards except the 576 s.f. limitation.

The city's zoning regulations define a dwelling unit as: "a building or portion thereof, designed exclusively for residential occupancy, including one-family, two-family and multiple dwellings, mixed-use dwellings, and boarding and lodging houses, but not motels, hotels, mobile homes or manufactured homes." The regulations also define accessory living quarters as: "a subordinate dwelling unit within a single-family dwelling that provides basic requirements for cooking, living, sleeping, eating and sanitation." ALQs may not be subdivided or otherwise segregated in ownership from the primary dwelling unit. Additionally, the zoning regulations have design and operation standards that require an accessory living quarter to be attached or incorporated into the principle dwelling, and prevents them from being located in a detached accessory structure.

Staff determined that since the proposed building includes cooking facilities, a bathroom, and other rooms that could be used as gathering spaces or sleeping quarters, it meets the definition of a dwelling unit (according to the zoning regulations and building code) and therefore would be considered a detached accessory living quarters.

Mr. Brewster noted that the zoning regulations prohibit the board from granting "use variances." However, the board may approve the application if either (a) it finds that staff was in error in determining that the building is a dwelling unit, or (b) they are satisfied with the applicant's additional stipulations and limitations that they are not permitting a use otherwise not allowed in the district. In each case, the merits of the requested dimension variance may then be considered.

Section 19.54.030 of the city's zoning regulations requires the board to find that all five of the following conditions are met to grant a variance. If the board finds that any one of these conditions is not met, a variance should not be granted:

A. Uniqueness

That the variance requested arises from such condition which is unique to the property in question and which is not ordinarily found in the same zone or district; and is not created by an action or actions of the property owner or the applicant.

In order for the property to meet the condition of uniqueness, it must have some peculiar physical surroundings, shape, or topographical condition that would result in a practical difficulty as distinguished from a mere inconvenience to utilize the property without granting the variance.

The property is zoned R-1A which requires a minimum 10,000 s.f. and minimum 80' wide. The lot is 92' by 227', and approximately 20,889 s.f. It is situated on a block with a wide variety of lot patterns, ranging from 10,600 s.f. to 37,400 s.f. The property is an unplotted original parcel that predates the city's subdivision regulations and zoning

regulations. However, the existing principal building was constructed on the lot in 2005 to replace an older home, and is one of the larger homes on the block. There is an existing accessory building that is approximately 585 s.f. that is situated approximately 175' from the street.

B. Adjacent Property

That the granting of the permit for the variance would not adversely affect the rights of adjacent property owners or residents.

The proposed building (and existing building) is approximately 90' from the nearest building to the east, and approximately 50' from the nearest building to the north (rear to rear orientation). Additionally, the proposed building would meet all of the other required setback, height, and building coverage standards (other than the size limit for major accessory buildings) that are designed to manage relationships with adjacent property.

C. Hardship

That the strict application of the provisions of these regulations from which a variance is requested will constitute an unnecessary hardship upon the property owner represented in the application.

The lot is very large, and permits a building capacity beyond what is on the lot currently (according to setbacks and building coverage standards). The property includes a large principal building (approximately 4,600 s.f.), attached garages, and an existing major accessory building (approximately 585 s.f.). Although the applicant could build additional accessory buildings or expand the existing principal building within the allowed standards, the limitation on major accessory buildings of 576 s.f. prohibits them from expanding the existing major accessory building as proposed.

D. Public Interest

That the variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare.

The proposed application is to add to an existing accessory building with a design in keeping with the principal house and existing structure. Other than the square footage limitation, the application meets all of the physical and design requirements for accessory structures and major accessory buildings.

E. Spirit and Intent of the Regulation

That the granting of the variance desired would not be opposed to the general spirit and intent of these regulations.

The 576 s.f. limit on major accessory buildings is intended to limit the size of outbuildings in proportion to the lots and principle buildings; allowing reasonable accessory uses in detached buildings. Additionally, accessory buildings over 200 s.f. are more substantial, and therefore have heightened standards to ensure more significant construction and design, and compatibility with the principal building. These buildings are also subject to all height, setback, and building coverage standards to help manage the building volume and relationship to adjacent property and buildings. The application meets all of the physical and design requirements for structures and major accessory buildings other than the 576 s.f. limit.

Mr. Brewster stated that after reviewing the information submitted and considering the testimony during the public hearing, if the board finds that all five conditions are met as required by state statutes and Section 19.54.030 of the zoning regulations, then it may grant the variance. If the board does approve the variance, it should be subject to the following conditions:

1. The board first finds that this variance will not permit an unauthorized use, and that an affidavit or other legal restriction satisfactory to the city attorney be filed to ensure the building is not used as an accessory living quarter.
2. That the variance be granted only to the extent shown with the submitted application and based on submitted plans.
3. The variance, if approved, shall be recorded with the county register of deeds within one year of approval, including the additional limitation on the use of the buildings.

Mr. Wolf asked what actions the city could take if the variance were granted but the applicant ended up using the building as a residence. Mr. Brewster said that the issue could be addressed like any other zoning violation, requiring the property owner to discontinue the use.

Mr. Herron asked how the application would be handled if the accessory dwelling were attached to the main house. Mr. Brewster said a variance would not be required if the two buildings were attached.

Applicant and property owner Megan Thomas, along with architect William Trakas were present to discuss the application. Ms. Thomas noted the building would primarily be used by her parents when they came to visit from Ohio, and added that the building already had a bedroom and bathroom.

Mr. Wolf asked why a kitchen was needed in the building. Ms. Thomas stated it was useful to have a kitchen when using the building as an entertainment space.

Mr. Herron asked why the proposal did not include an attachment to the main house. Mr. Trakas said that attaching the buildings together would cause circulation constraints for the driveway and garage. Mr. Herron suggested that a breezeway with an overhead roof could be an option. Ms. Thomas shared concern that a breezeway would limit access to the backyard.

After further discussion, Ms. Brown opened the public hearing at 7:11 p.m. With no one present to speak, the public hearing was closed at 7:12 p.m.

Mr. Valentino and Mr. Wolf recommended that the applicant pursue a modified plan with a connection between the two buildings.

Mr. Wolf made a motion deny the requested variance based on an improper use of the building and because the five factors had not been met. Ms. Temple seconded the motion, which passed 6-0.

OTHER BUSINESS

ADJOURNMENT

Vice-Chair Melissa Brown adjourned the meeting of the Board of Zoning Appeals at 7:16 p.m.

Adam Geffert
City Clerk/Board Secretary

STAFF REPORT

TO: Prairie Village Board of Zoning Appeals
FROM: Chris Brewster, Multistudio, Planning Consultant
DATE: May 5, 2026 Board of Zoning Appeals Meeting

Application: BZA 2026-01

Request: Variance increase the permitted building coverage from 30% to 31.78%.

Action: *A variance request requires the Board of Zoning Appeals to evaluate facts and weigh evidence, and a majority of the Board must find that all 5 criteria for a variance have been met in order to approve the request.*

Property Address: 5225 W. 69th Terrace

Applicant: Kevin Tran, Owner

Current Zoning & Use: R1-A Single-Family Residential – Single-family house

Surrounding Zoning & Use: **North:** R-1A Single-Family Residential – Single-family house
East: R-1A Single-Family Residential –Single-family house
South: R-1A Single-Family Residential – Single-family house
West: R-1A Single-Family Residential – Single-family house

Legal Description: NALL AVENUE GARDENS LOT 9 BLK 2 PVC-0441 0042

Property Area: 0.23 acres (9,846.5 s.f.)

Related Case Files: None;

Attachments: Application, variance request form, site & building plans

General Location – Map



Aerial Map



Aerial Lot



Birdseye View



Street View



Looking south on 69th Terrace at 5225 W. 69th Terrace.

SUMMARY:

This application requests a variance for building coverage standards from 30% to 31.78%. The property was a tear down and rebuild, built in 2022. The new house covered approximately 2,531 s.f., which is 25.70% of the total lot, and this included a small, covered porch and a concrete patio pad. In July 2024, a contractor built the deck that extended from the covered porch and was over the concrete patio pad but did not get a permit. The deck is 748.02 square feet, is approximately 35 to 48 inches above grade, and is more than 30 inches above grade at all points. Therefore, the entire deck, including uncovered portions, is counted towards the lot's total impervious coverage. The house and deck exceed the building coverage permitted on this lot by 1.78%.

The applicant had a neighborhood meeting on April 21, 2026, as required by the Prairie Village Resident Participation Policy and has supplemented the application with background on that meeting.

DETAILS:

The property is zoned R-1A and includes a single-family detached house. The lot is 9,846.5 square feet and is approximately 70 feet wide by 141 feet deep. The lot is situated mid-block on the south side of West 69th Terrace between Fonticello Street and

Nall Avenue. All property in the vicinity is zoned R1-A and used for single-family homes.

R-1A requires the following coverages:

- 30% Building coverage [19.06.015\(a\)](#)
- 40% Impervious coverage [19.06.015\(a\)](#)

The building coverage limit addresses building scale and massing in relation to the lot and includes all structures over 30 inches (principal and accessory); the impervious coverage limit addresses drainage in relation to the lot, and includes all impervious surfaces.

This property was a teardown / rebuild in 2022 and was approved below the building coverage and below the impervious surface coverage, which included a small, covered porch and an at grade patio. In 2024 a deck that is more than 30 inches above grade was built without a permit, and the property now exceeds the 30% building coverage standard.

This application proposes the following structures:

- | | |
|--|---------------|
| • House | 2,381.12 s.f. |
| • Deck (existing, including covered porch) | 748.02 s.f. |
| • Total building coverage | 3,129.14 s.f. |

This results in a 31.78% building coverage, exceeding the 30% limit by 1.78 % or 175.19 s.f.

[Note: the proposed impervious coverage is 4,184.6 s.f. and under the permitted impervious coverage limit for this lot, which is 4,238.6 s.f. (40% of lot, plus 300 s.f. exemption for lots under 10,000 square feet.)]

ANALYSIS:

[Section 19.54.030](#) of the Zoning Ordinance requires the Board to find that **all five** of the following conditions are met to grant a variance. If the Board finds that any one of these conditions is not met, a variance should not be granted:

A. Uniqueness

That the variance requested arises from such condition which is unique to the property in question and which is not ordinarily found in the same zone or district; and is not created by an action or actions of the property owner or the applicant.

In order for the property to meet the condition of uniqueness, it must have some peculiar physical surroundings, shape, or topographical condition that would result in a practical difficulty as distinguished from a mere inconvenience to utilize the property without granting the variance.

The property is zoned R-1A lots and is 70 feet by 141 feet. It is a legal non-conforming lot as it does not meet the 80-foot minimum lot width for R-1A. (80' x

125' is the minimum R-1A). This is common in this area as a majority of lots on this block and the opposing block faces to the north and south are 70 feet wide. (These lots were platted in 1946 and predate the zoning ordinance designating this area R-1A). It is situated mid-block among similar lots on both sides of the street, that are generally rectangular lots with similar proportions, except for corner lots. The primary differences in width or depths occur in the vicinity occur at transitions to R-1B zoning district to the south and east, or larger and irregular blocks and lots several blocks to the north. Based on standard setbacks, this lot results in an approximate 4,816 s.f. buildable area, of which up to 2,953.95 s.f. can be utilized due to the 30% building coverage limit.

B. Adjacent Property

That the granting of the permit for the variance would not adversely affect the rights of adjacent property owners or residents.

Building setbacks are the primary standard that manages impacts on adjacent property, and this application meets all setbacks (8.8 feet on the south where 6 is required; 6 feet on the north where 6 is required; and 14.8 feet combined where 13 is required). The existing deck which is proposed to be retained with the variance also meets setbacks applicable to accessory structures. It is located at the central portion of the lot and tapers back to the center of the lot at its deepest portion of the house. At its closest points, it is approximately 12.5 feet from the property line to the east, approximately 29 feet from the property line to the south, and approximately 18 feet from the property line to the west. It is uncovered for a substantial part of the deck (other than the covered porch permitted with the initial home construction which is approximately 175 square feet) and is between 35 inches and 48 inches above grade.

C. Hardship

That the strict application of the provisions of these regulations from which a variance is requested will constitute an unnecessary hardship upon the property owner represented in the application.

The lot has approximately 2,953.95 square feet of buildable area based on a total lot size of 9,846.5 square feet. Based on the proposed plan, to meet the 30% building coverage standard the applicant would need to remove 175.19 square feet. The proposed principal building has a 2,381.12 square feet footprint. Other new homes in the area have a similar or larger footprint than this house; however, those that are larger tend to be on larger lots or have decks or patios that are lower to the grade and do not count to the building coverage standards.

D. Public Interest

That the variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare.

The proposed application is a tear down and rebuild of an existing structure. Prairie Village ordinance regulates a balance between necessary reinvestment in neighborhoods with impacts on the character of the neighborhood and general community. The initially permitted building meets all standards, and except the unpermitted deck exceeding building coverage standard is compliant with all

ordinances. Granting the variance would allow the applicant to retain an existing s deck; denial of the variance would require the applicant to remove at least 175.19 square feet of deck or significantly alter the deck structure so that at least 175.1`9 square feet is built at less than 30 inches above grade.

E. Spirit and Intent of the Regulation

That the granting of the variance desired would not be opposed to the general spirit and intent of these regulations.

The building coverage standard is intended to regulate the scale and mass of residential buildings in relation to lots. It applies in addition to the height, setback, and massing standards for the principal building, and it applies to any structure over 30 inches high. This standard works independently of setbacks and impervious cover standards to limit the extent of vertical structures on a lot and preserve open areas on the lot. In this application the structures meet all height, setback, and impervious coverage standards, and generally have an appropriate relationship to adjacent property. The existing condition has 31.78% coverage. Covered structures make up approximately 25.7% of that (including the covered portion of the deck) and uncovered structures above 30 inches make up approximately 6.08% of that, resulting in exceeding the building coverage standard by 1.78%.

EFFECT OF DECISION:

After reviewing the information submitted and considering the testimony during the public hearing, if the Board finds that **all five conditions** are met as required by state statutes and [Section 19.54.030](#) of the Prairie Village Zoning Ordinance, then it may grant the variance. If the Board does approve the variance, it should be subject to the following conditions:

1. That the variance be granted only to the extent shown with the submitted application and based on submitted plans.
2. The applicant shall revise all drainage permit application materials to show all approved and proposed impervious surfaces.

Project Description

Requested Action*

Variance

Legal Description*

Dear Members of the Planning Commission,

I am writing to respectfully request a variance to the 30% building coverage requirement for my property located at 5225 W 69th Terrace in Prairie Village, Kansas.

In 2024, my family undertook a backyard improvement project to address a significant safety and usability concern. Our yard had a steep drop-off from the existing concrete slab, creating a potentially hazardous environment—particularly for our young children. To create a safer, more functional outdoor space, we worked with a contractor to construct a deck that would provide a level surface for play and family use.

At the time of construction, neither we nor our contractor were aware that a permit was required for the deck. This was an unintentional oversight, and there was no attempt to bypass City processes or regulations.

Recently, while submitting permits for a separate treehouse project, the City became aware of the existing deck. Upon notification, I immediately worked with staff to submit a retroactive deck permit application in good faith and in full cooperation.

Through this process, I learned that portions of the deck exceed 30 inches above grade, which causes it to count toward building coverage. As a result, the total building coverage exceeds the allowable limit by approximately 175.19 square feet, or 1.77%.

I respectfully request that the Planning Commission grant a variance for this minor overage for the following reasons:

- **Minimal Deviation:** The overage is relatively small (approximately 1.77%) and does not materially impact the character of the neighborhood or surrounding properties.
- **Safety Considerations:** The deck was constructed primarily to eliminate a steep and potentially dangerous drop-off, creating a safer outdoor environment for our young children.
- **Good Faith Compliance:** Upon becoming aware of the permitting requirement, I promptly took corrective action by submitting the appropriate retroactive application and working collaboratively with City staff.

- **No Adverse Impact:** The deck does not negatively affect drainage, visibility, neighboring properties, or public infrastructure to my knowledge.
- **Significant Hardship:** Requiring removal or substantial modification of the deck would impose a considerable financial burden and would reintroduce the original safety concerns that the project was intended to address.

We value being responsible homeowners and members of the Prairie Village community, and we are committed to following all City requirements moving forward. I sincerely appreciate your time and consideration of this request.

Please let me know if any additional information, documentation, or site visits would be helpful in your review.

Thank you for your consideration.

Sincerely,

Kevin Tran

Applicant Information

What are you applying for?

BZA

Applicant Name*

Kevin Tran

Address*

5225 W. 69th Ter, Prairie Village, KS 66208

Owner Name*

Kevin Tran

Acknowledgement

Applicant intends to file an application with the Prairie Village Planning Commission or the Prairie Village Board of Zoning Appeals of the City of Prairie Village, Kansas (City). As a result of the filing of said application, the City may incur certain expenses, such as publication costs, consulting fees, attorney fees and court reporter fees. Applicant hereby agrees to be responsible for and to the City for all costs incurred by the City as a result of said application. Said costs shall be paid within ten (10) days of receipt of any bill submitted by CITY to Applicant It is understood that no requests granted by City or any of

its commissions will be effective until all costs have been paid. Costs will be owed whether or not Applicant obtains the relief requested in the application.

Applicant Signature*

Kevin Tran

Mar 26, 2026

Date*

03/26/2026

Detailed Description of Variance Requested

Requesting a variance to the 30% maximum building coverage requirement to allow an existing residential deck to remain. The deck causes the total building coverage to exceed the allowable limit by approximately 175.19 square feet (1.77%). The variance request is to permit this minor overage.

Adjacent Zoning: North

Single-family residential (R1A zoned)

Adjacent Land Use: North

Single-family residential

Adjacent Zoning: South

Single-family residential (R1A zoned)

Adjacent Land Use: South

Single-family residential

Adjacent Zoning: East

Single-family residential (R1A zoned)

Adjacent Land Use: East

Single-family residential

Adjacent Zoning: West

Single-family residential (R1A zoned)

Adjacent Land Use: West

Single-family residential

Present Use of Property

Single-family residential home

Proposed Use of Property

Continued single-family residential use with existing deck as an accessory structure.

Utility lines or easements that would restrict proposed development

No known utility lines or easements are impacted by the existing deck. The structure does not encroach upon any known easements or restrict utility access.

Provide an explanation for how the following standard is met: Uniqueness

Yes.

The property has a notable grade change and slope directly adjacent to the rear of the home, creating a steep drop-off from the existing concrete slab. This topographical condition is unique in how it limits safe and functional use of the backyard space. The deck was constructed specifically to address this condition by creating a level, usable outdoor area, particularly for safe use by young children.

Provide an explanation for how the following standard is met: Adjacent Property

Yes.

The deck is consistent with typical residential accessory structures in the neighborhood and does not negatively impact adjacent properties. It does not impede light, air, or privacy beyond what is customary for similar structures. There have been no known concerns or complaints from adjacent neighbors, and the structure maintains the residential character of the area.

Provide an explanation for how the following standard is met: Hardship

Yes.

Strict enforcement of the building coverage limit would create an unnecessary hardship by requiring removal or substantial modification of an existing structure that exceeds the limit by only 1.77%. The deck was built to address a safety concern related to the steep drop-off in the yard, particularly for young children. Removal would not only create a significant financial burden but would also reintroduce the original safety issue the deck was intended to resolve.

Provide an explanation for how the following standard is met: Public Interest

Yes.

Granting this variance would not adversely affect the public interest. The deck is a typical residential improvement and does not impact public infrastructure, drainage, utilities, or neighborhood safety. The structure is not visually intrusive from the street and does not alter the overall appearance of the neighborhood.

Provide an explanation for how the following standard is met: Spirit and Intent

Yes.

The intent of the building coverage limitation is to prevent overcrowding and overdevelopment of residential lots. This request represents a minimal deviation (1.77%) and does not undermine that intent. The property remains consistent with neighborhood character, and the scale of development is in line with surrounding homes. The request preserves the intent of the code while allowing for a reasonable accommodation of existing site conditions.

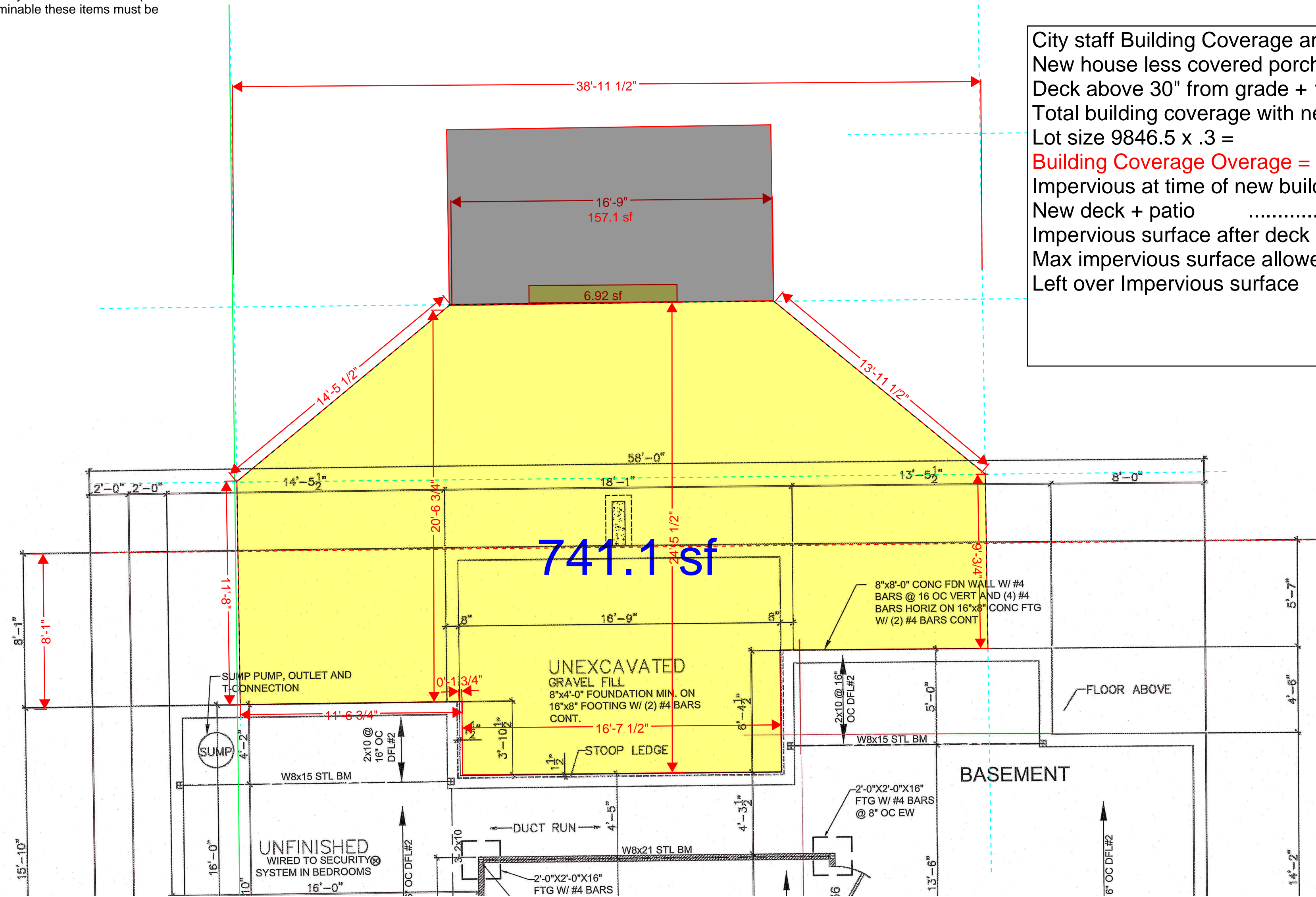
Deck analysis 3-26-2026

City of Prairie Village Community Development Plan Review Comments
 Address of project: 5225 w 69th Terrace
 Proposed work: Build deck rear yard + steps
 Date: 3-26-2025
 Permit Number BP-26-386
 Special Condition: Deck built without a permit.
 Status of Plan Review: Disapproved
 Reviewed by: Mitch Dringman Building official 913-385-4687 mtringman@pvkansas.com

The following items shall be corrected:
 1. The proposed deck is over what is allowed for building coverage on this lot of 175.19 square feet. This Condition must be corrected or the Applicant must seek a Board of Zoning Appeals process and have a positive result.
 2. A full structural analysis could not be conducted of the deck by photographs provided, however the photos indicate substructure framing members are over spanned by the single ply 2 x 10s used as interior carrier beams. Unknown are the pier sizes installed for the deck perimeter and if the heel end of the joists have been supported where cut at concrete overlay. The deck built has put additional loading on the covered porch piers. Due to the piers and substructure framing not determinable these items must be evaluated by a Kansas Registered Engineer.

3. Additional information:

City staff Building Coverage and impervious surface coverage calculations:	
New house less covered porch	2381.12 sf
Deck above 30" from grade + 1 step	748.02sf
Total building coverage with new deck =	3129.14sf
Lot size 9846.5 x .3 =	2953.95 (Max BC allowed)
Building Coverage Overage =	175.19sf
Impervious at time of new build less covered porch area.	3286.4sf
New deck + patio	898.2sf
Impervious surface after deck and patio built	4184.6sf
Max impervious surface allowed for this lot	4238.6sf
Left over Impervious surface	54sf



City staff Building Coverage and impervious surface coverage calculations:	
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Max impervious surface allowed for this lot	4238.6sf
Left over Impervious surface	54sf

PROPOSED LOT INFORMATION

Lot Size	9,846.5 Sq. Ft.	
Impervious Area	3,504.44 Sq.	35.5%
House Area	2,372 Sq. Ft.	24.0%
Hard Surface	1,132.44 Sq. Ft.	11.5%
Front Yard Area	3,153.0 Sq. Ft.	
Driveway Area	851.36 Sq. Ft. = 27.0% of Front Yard Area	
Roof Area	2,819.7 Sq. Ft.	

Original Lot development calculations on the plot plans when new house was built.

Hi Adam,

Attached is the letter that was sent out to all of the homeowners you have listed.

We did have our home ready for a meeting this evening but no one attended (therefore, I am foregoing sending an attendance sheet).

I did have a few neighbors write me an email as well as a letter of support, all attached here as well.

I also received phone calls and spoke in person with Rob Martin (5306 W 70th St), Pat Bolin (5312 W 70th St), Isabela Kaehler (5212 W 70th St) regarding the deck and they also voiced support for granting variance.

As no actual meeting was held due to no attendance, I am also foregoing a “meeting summary.”

Please let me know if you need anything else from me. I am eagerly awaiting the city’s decision on this variance.

Best Regards,

Kevin Tran

April 13, 2026

Christine & Kevin Tran
5225 W 69th Terrace
Prairie Village, KS 66208

Dear Neighbors,

We hope this message finds you well. In July 2024, we hired a contractor to construct a backyard deck at 5225 W. 69th Terrace. We are seeking a variance from the City of Prairie Village Board of Zoning Appeals to retain our existing deck, which has been on our property since then. The deck slightly exceeds the current footprint requirement by 1.7%.

Per city regulations, we are notifying all property owners within 200 feet of our home project and inviting you to a meeting to discuss this variance request. This is an opportunity to learn more, ask questions, or share any feedback.

Meeting Details:

Date: Tuesday, April 21, 2026

Time: 8:00 PM

Location: 5225 W. 69th Terrace

Attendance is voluntary, and the meeting will include a brief overview of the project and a chance to address any questions.

Kindly RSVP by phone (text message) or e-mail. If you cannot attend but wish to discuss the variance, please contact us at 972-948-3669 or cktsayido@gmail.com.

Thank you. We value our neighbors and neighborhood and do not wish to be an inconvenience to anyone.

Best,

Christine & Kevin Tran

From: Gabrielle Grier ggrier18@gmail.com 
Subject: Support for neighbors
Date: April 16, 2026 at 12:35 PM
To: Cktsayido@gmail.com




To whom it may concern,

I'm writing to express my full support for my neighbor's existing deck, as well as their upcoming treehouse project. I have no objections to either the current structure or the proposed addition, and I'm happy to support their plans moving forward.

Please feel free to reach out if any additional information is needed.

Sincerely,
Gabrielle Grier

5218 W. 70th Street, Prairie Village KS 66208
913-485-6384


From: Jennifer Hedgecock jennifer.k.hedgecock@gmail.com 
Subject: Deck
Date: April 21, 2026 at 8:54 AM
To: Cktsayido@gmail.com



Hi friends!

Sorry to hear about your deck woes. We don't have any issues with your deck or the variance. Good luck with your appeal!

Jon and Jenny Hedgecock
5224 W 69th terrace


From: Brian Jao brian.jao@gmail.com 
Subject: Deck on 5225
Date: April 13, 2026 at 7:27 AM
To: cktsayido@gmail.com



Hi Kevin,

This is Brian and Alex, your neighbors directly across from your backyard on 5224 W 70th St, Prairie Village, KS 66208. We have nothing to add other than the deck looks great! No issues whatsoever. Great to see people in the neighborhood out and using the outdoor space.

Brian & Alex Jao

From: Nancy Silverforb nsilverforb@kc.rr.com 
Subject: Your deck
Date: April 13, 2026 at 1:53 PM
To: cktsayido@gmail.com



Hi, Christine and Kevin.

I have no problem with anything you need to do to make (keep) your deck livable. I have lived in my home at 5219 W. 69th St. for 44 years and have found PV codes to be no big deal...UNTIL the last few years with all the tear-downs and rebuilds. We discovered that our lot is smaller than we thought, and as a result, neighboring property is a little too close. We had to move sprinkler heads in our irrigation system three times, which was a pain. Fortunately, we like our neighbors, but the codes can be sticky.

Good luck. I hope nobody objects.

Nancy Silverforb

Seth and Jennifer Phillips
5219 W. 69th Ter
Prairie Village, KS

April 21, 2026

City of Prairie Village
7700 Mission Road
Prairie Village, KS 66208

Re: Neighbor Support for Deck Variance at 5225 W. 69th Ter

Dear City of Prairie Village,

We understand our neighbors at 5225 W. 69th Ter are seeking a variance for their existing deck, and we wanted to share our perspective as the adjacent property owners at 5219 W. 69th Ter.

The deck has not created any problems for us. It hasn't caused any sightline issues, hasn't caused any water runoff or drainage onto our property, and hasn't affected our enjoyment of our home in any way. As the neighbors who would be most affected, we can say that if there were going to be a negative impact on anyone, it would most likely be felt here — and there hasn't been one.

For that reason, we'd like to formally voice our support for the variance being granted. We hope this letter is helpful as the city considers the request, and we're happy to answer any questions.

Thank you for your time,



Seth and Jennifer Phillips
5219 W. 69th Ter
Prairie Village, KS
913-626-1113

From: ROBERT MARTIN <robertemartin@sbcglobal.net>

Date: April 22, 2026 at 5:37:06 PM CDT

To: cktsayido@gmail.com

Subject: Backyard deck

Kevin,

It was a pleasure to visit with you yesterday regarding your deck and the issue that you are having with the city regarding the contractor not filing an appropriate permit request at the time he added the deck onto your new house several years back.

As I noted, I can see your deck from my back yard and have never had any complaints or difficulties with its size or your use of the deck.

I am sorry that neither my wife or I are unable to visit with you directly on the evening of 4/21/26.

Hopefully this email with suffice in my notice to the City of Prairie Village that I have no issues or objections related to your deck size or its use. If you can be of any additional assistance, please let me know.

Sincerely,

Robert E. Martin

5306 West 70th Street

Pairie Village, Ks 66208

8136-830-8020

STAFF REPORT

TO: Prairie Village Board of Zoning Appeals
FROM: Chris Brewster, Multistudio, Planning Consultant
DATE: May 5, 2026 Board of Zoning Appeals Meeting

Application: BZA 2026-02

Request: Variance to the cumulative side setback from 16 feet to 14.84 feet.

Action: *A variance request requires the Board of Zoning Appeals to evaluate facts and weigh evidence, and a majority of the Board must find that all 5 criteria for a variance have been met in order to approve the request.*

Property Address: 2000 W. 71st Street

Applicant: Travis & Jessica Townsley, Owner

Current Zoning & Use: R1-B Single-Family Residential – Single-family house

Surrounding Zoning & Use: **North:** R-1 Single-Family Residential – Single-family house (Mission Hills)
East: R-1B Single-Family Residential –Single-family house
South:R-1B Single-Family Residential – Single-family house
West: R-1B Single-Family Residential – Single-family house

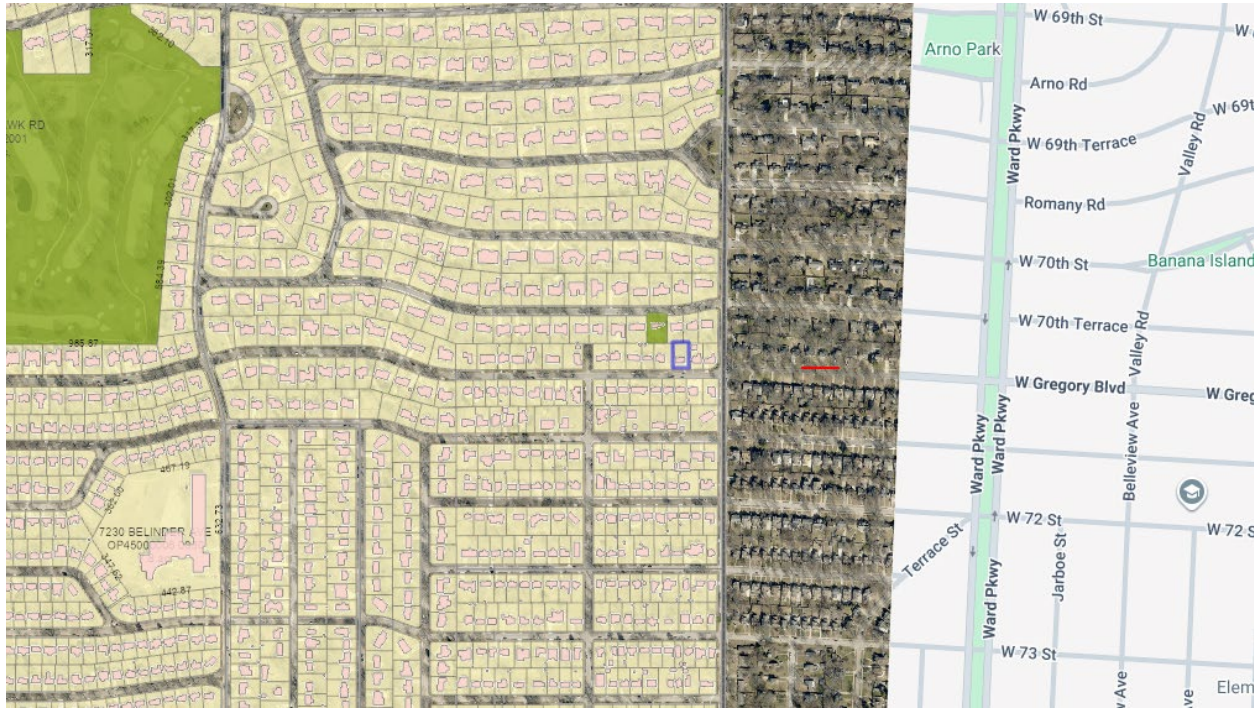
Legal Description: GRANTHURST LTS 26 & 27 PVC 3422

Property Area: 0.23 acres (10,199.52 s.f.)

Related Case Files: None

Attachments: Application, variance request form, site & building plans

General Location – Map



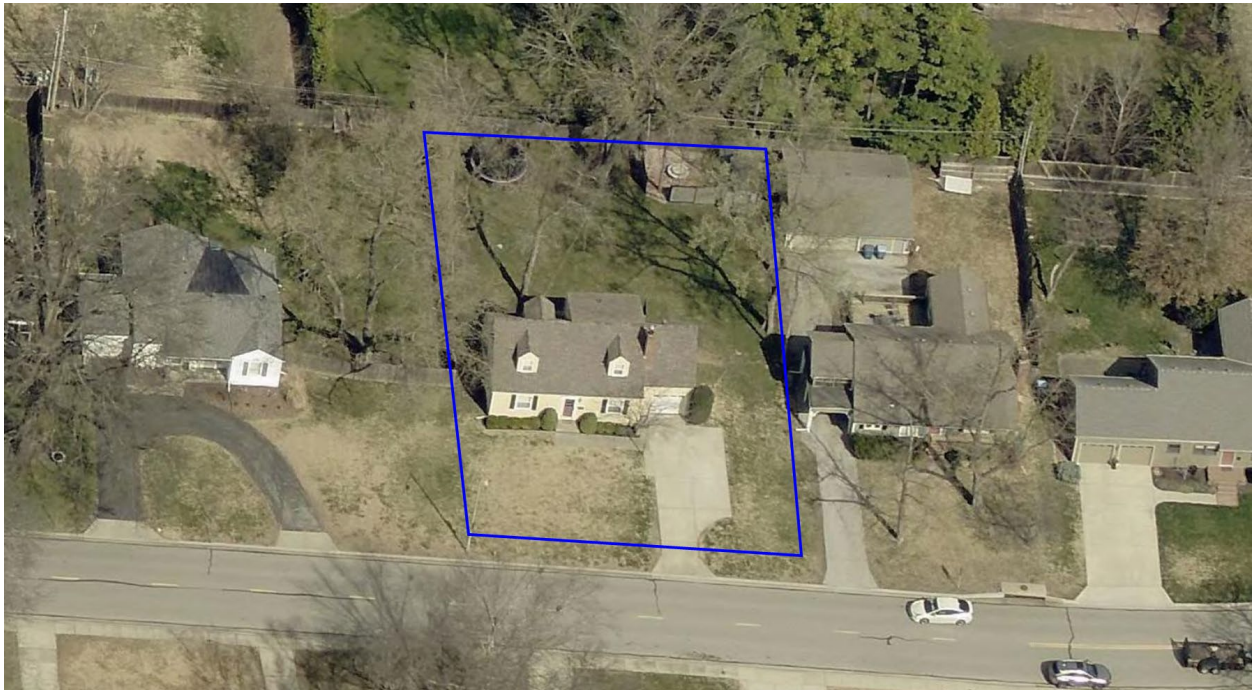
Aerial Map



Aerial Site



Birdseye View



Street View

Looking north on 71st Street – Variance requested for area on right of yellow house on the left.

SUMMARY:

This application requests a variance for a side setback from 11.5 feet to 9.66 – a variance of 1.84 feet. The application is for a major addition to a smaller home and the replacement of an existing one car garage with a two-car garage. The requested east side setback of 9.66 feet would be greater than the required 6 feet side setback; however, the west side of the existing home is approximately 4.5 feet from the west side lot line. This property is 80 feet wide and requires a 16-foot cumulative side setback between both sides, necessitating a larger side setback on the west side where the addition is proposed. The proposed building does not meet the cumulative side setback.

The applicant had a neighborhood meeting on April 20, 2026, as required by the Prairie Village Resident Participation Policy and has supplemented the application with background on that meeting.

DETAILS:

The property is zoned R-1B and located two houses west of the corner of 71st Street and State Line Road. The lot is 80 feet wide and 129 feet deep. Lots on this block vary between 60 and 100 feet wide. All property in the vicinity is zoned R-1B and used for residential uses. [Property abutting the rear lot line is in Mission Hills and is zoned R-1,

which is comparable to this zoning and not significantly impacted by this requested variance.]

R-1B requires the following lot standards and side setbacks:

- 60' lot width
- 100' lot depth
- 6 feet minimum each side
- 20% of the lot width minimum between both sides; and
- At least 12' between adjacent buildings

[\[19.08.015 / Table 19.08.A\]](#)

In this case (80 feet wide lot), a 16 feet cumulative side setback is required. The existing home (which a portion will be retained) has a 4.5 feet side setback on the west side and is a legally nonconforming situation (the house was built prior to the zoning ordinances and prior to the side setbacks increasing from 4 feet to 6 feet in R-1B). As a result, the east side is required to have a side setback of 11.5 feet. In order to retain the existing home, build an addition to the rear and west, and incorporate a two-car garage to replace the existing single car garage, the applicant is proposing an east side setback of 9.66 feet, rather than the required 11.5 feet - a variance of approximately 1.84 feet. The proposed addition would be the required building separation of at least 12 feet from the existing home to the west.

VARIANCE ANALYSIS (BOARD OF ZONING APPEALS):

[Section 19.54.030](#) of the Zoning Ordinance requires the Board to find that **all five** of the following conditions are met in order to grant a variance. If the Board finds that any one of these conditions is not met, a variance should not be granted:

A. Uniqueness

That the variance requested arises from such condition which is unique to the property in question and which is not ordinarily found in the same zone or district; and is not created by an action or actions of the property owner or the applicant.

In order for the property to meet the condition of uniqueness, it must have some peculiar physical surroundings, shape, or topographical condition that would result in a practical difficulty as distinguished from a mere inconvenience to utilize the property without granting the variance.

The lot is similar to many other lots in the area. However, it is one of the wider lots on the block, with many meeting the 60 feet minimum R-1B, and several others being between 80 and 100 feet as this lot is. Additionally, this property has a legal non-conforming side setback of the existing residence being 4.5 feet from the west side lot line. This side is the primary living area of the existing home and proposed to be retained, while the garage side which is proposed for significant renovations

and expansion has a larger side setback. As a result, the side with the most room for expansion and most applicable for expansion of the garage is required to have a larger side setback to meet the required cumulative side setback of 16 feet.

B. Adjacent Property

That the granting of the permit for the variance would not adversely affect the rights of adjacent property owners or residents.

Although the proposed addition is closer than the house to the east, there is a lesser impact on this house than what could otherwise be built within the setbacks due to (1) each house mirroring the driveway and garage / carport sides of the house on this common lot line; (2) the majority of the east elevation is stepped back 2.9 feet and complies with the side setback; and (3) the proposed addition retaining the 1.5-story profile and side-pitched roof and gable, resulting in a lower-scale building elevation along this side setback side setback. Additionally, this side would still exceed the required minimum setback of 6 feet and required building separation minimum of 12 feet. The majority of the addition on this side is off-set an additional 2.9 feet and complies with the required cumulative side setback, and it is only the garage portion of the elevation (approximately 25 linear feet) that exceeds the cumulative side setback.

C. Hardship

That the strict application of the provisions of these regulations from which a variance is requested will constitute an unnecessary hardship upon the property owner represented in the application.

The project is a rehabilitation and expansion of an existing home, retaining a large portion of the current footprint, including the placement and west elevation of that has the smallest side setback. Under this plan the only way to expand a one-car garage to a two-car garage would be to the east as proposed. The plan results in a garage width of 23 feet wide (exterior to exterior), which is sufficient and typical of a two-car garage. The project also retains a predominantly 1.5-story scale and low roof pitch of the existing home on all elevations.

D. Public Interest

That the variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare.

The proposed addition retains many of the design and scale elements of the existing house and presents greater utility of a two-car garage within the scale and character of the surrounding neighborhood. It also retains the current access and garage/utility side of the home which mirrors that of the existing house to the east (on the requested variance side.) While the cumulative side setback is not met, the minimum single side setback and building separation is met for all proposed new construction.

E. Spirit and Intent of the Regulation

That the granting of the variance desired would not be opposed to the general spirit and intent of these regulations.

The side setback standards are intended to manage relationships to adjacent lots and buildings. In this case the relationship to the adjacent building is limited due to the mirroring of the driveways and garage/carports on each lot, the limited extent of the setback violation along the elevation, and the proposal of a 1.5-story elevation. Additionally, the requested variance is minimal considering the nature of the project and permits a sufficient two-car garage. The application will meet all lot development and neighborhood design standards applicable to this lot, and particularly the standards intended to limit the scale and visibility of garages and driveways along lot frontages.

EFFECT OF DECISION:

After reviewing the information submitted and considering the testimony during the public hearing, if the Board finds that **all five conditions** can be met as required by state statutes and [Section 19.54.030](#) of the Prairie Village Zoning Ordinance, then it may grant the variance. If the Board does approve the variance, it should be subject to the following conditions:

1. That the variance be granted only to the extent shown with the submitted application and based on submitted plans.

Project Description

Requested Action*

Residential Building Line Modification/Elevation Change

Legal Description*

GRANTHURST LTS 26 & 27 PVC 3422

Applicant Information

What are you applying for?

BZA

Applicant Name*

William Trakas

Address*

1600 Genessee St KCMO 64111

Owner Name*

Travis Townsley

Location of Property*

2000 W 71st, Prairie Village, KS 66208

Applicant requests consideration of the following: (Describe proposal/request in detail)*

Proposed New Building footprint width on the lot does not comply with PVZC Table 19.08A Development standard Side setback 20% of lot width minimum between both sides. Lot width 80.11 x .20 = Required combined side yards of 16.02' feet in width. Proposed existing structure (west side yard 4.51') + (east side new structure side yard 9.66') = 14.17'. This is a side yard violation of 1.85'.

Applicant is requesting a 1.85' combined side yard setback variance to maintain both the existing residence and provide a new usable garage.

Acknowledgement

Applicant intends to file an application with the Prairie Village Planning Commission or the Prairie Village Board of Zoning Appeals of the City of Prairie Village, Kansas (City). As a result of the filing of said application, the City may incur certain expenses, such as

publication costs, consulting fees, attorney fees and court reporter fees. Applicant hereby agrees to be responsible for and to the City for all costs incurred by the City as a result of said application. Said costs shall be paid within ten (10) days of receipt of any bill submitted by CITY to Applicant It is understood that no requests granted by City or any of its commissions will be effective until all costs have been paid. Costs will be owed whether or not Applicant obtains the relief requested in the application.

Applicant Signature*

William Trakas

Apr 6, 2026

Date*

04/06/2026

Detailed Description of Variance Requested

Proposed New Building footprint width on the lot does not comply with PVZC Table 19.08A Development standard Side setback 20% of lot width minimum between both sides. Lot width 80.11 x .20 = Required combined side yards of 16.02' feet in width. Proposed existing structure (west side yard 4.51') + (east side new structure side yard 9.66') = 14.17'. This is a side yard violation of 1.85'.

Applicant is requesting a 1.85' combined side yard setback variance to maintain both the existing residence and provide a new usable garage.

Adjacent Zoning: North

R-1-(16)

Adjacent Land Use: North

1101 - Single family residence

Adjacent Zoning: South

R1-B

Adjacent Land Use: South

1101 - Single family residence

Adjacent Zoning: East

R-1B

Adjacent Land Use: East

1101 - Single family residence

Adjacent Zoning: West

R-1B

Adjacent Land Use: West

1101 - Single family residence

Present Use of Property

1101 - Single family residence

Proposed Use of Property

1101 - Single family residence

Utility lines or easements that would restrict proposed development

N/A

Provide an explanation for how the following standard is met: Uniqueness

The subject property presents a unique condition due to the presence of an existing residence with established setbacks that do not align cleanly with current zoning requirements when accommodating modern functional improvements. The lot is approximately 80.11 feet wide, requiring 16.02 feet of combined side yard, while the existing structure already occupies a portion of that envelope. The proposed addition is constrained by:

- The fixed location of the existing home (to remain)
- The need to provide a functional attached garage

Provide an explanation for how the following standard is met: Adjacent Property

The proposed addition maintains appropriate spatial separation and compatibility with adjacent properties. The new structure will be more than 12' from all adjacent property structures

Provide an explanation for how the following standard is met: Hardship

The hardship is not self-created but results from: The existing home's placement on the lot and The necessity to provide a functional garage and modern living spaces

Strict compliance would require either: Demolition or significant alteration of the existing structure, or reduction in the size of the proposed garage to prohibit functional use as a two-car garage.

Provide an explanation for how the following standard is met: Public Interest

Granting the variance supports the public interest by:

- Allowing reinvestment in an existing single-family home
- Improving neighborhood housing quality and longevity
- Maintaining consistency with surrounding residential development patterns

The project does not introduce any safety concerns, overcrowding, or negative infrastructure impacts. Instead, it enhances the property while remaining consistent with the intent of low-density residential zoning.

Provide an explanation for how the following standard is met: Spirit and Intent

The spirit and intent of the zoning ordinance are maintained because the project:

- Preserves appropriate building scale and neighborhood character
- Maintains substantial compliance with side yard requirements (only a minor 1.85' deviation)
- Continues single-family residential use consistent with zoning

The variance is minor and does not undermine the purpose of side yard regulations, which is to ensure adequate spacing between structures. That intent is still achieved with the proposed 14.17 feet of combined side yard.

- GENERAL REQUIREMENTS**
- INTENT OF CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, AND SERVICES NECESSARY FOR COMPLETION OF ALL WORK SHOWN PRESCRIBED, OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED.
 - BRING OMISSIONS AND CONFLICTS BETWEEN VARIOUS ELEMENTS OF WORK TO ARCHITECT'S ATTENTION IMMEDIATELY UPON DISCOVERY AND PRIOR TO PROCEEDING WITH WORK INVOLVED. NOTIFY OWNER IN WRITING OF ALL CHANGES.
 - OWNER FURNISHED/CONTRACTOR INSTALLED PRODUCTS INCLUDE FOLLOWING: FLOOR AND WALL TILE
 - CONFINE CONSTRUCTION TO AREAS WHERE WORK IS INDICATED. KEEP OTHER OCCUPIED OR USED FACILITIES CLEAR AND AVAILABLE TO OWNER.
 - COORDINATE WITH OWNER DELIVERY OF GOODS AND MATERIALS, ROUTE OF ACCESSIBILITY, AND LOCATION OF TRASH REMOVAL DEVICES.
 - CLEAN AND REMOVE DEBRIS AND SECURE WORK AT END OF EACH WORK DAY.
 - NOTIFY OWNER NOT LESS THAN 2 DAYS PRIOR TO PROPOSED UTILITY INTERRUPTIONS.
 - NOTIFY OWNER NOT LESS THAN 2 DAYS PRIOR TO PROPOSED OPERATIONS RESULTING IN HIGH LEVELS OF NOISE, VIBRATION, ODORS, OR OTHER DISRUPTION TO OWNER'S PERATION.
 - USE EXISTING WATER, SEWER, AND ELECTRIC POWER SERVICE PERMITTED WITH OUT METERING AND PAYMENT OF USE CHARGES. PROVIDE CONNECTIONS AND EXTENSIONS AS REQUIRED FOR CONSTRUCTION OPERATIONS.
 - COORDINATE SUBMITTAL PREPARATION AND REVIEW WITH CONSTRUCTION SCHEDULE, FABRICATION LEAD-TIMES, OTHER SUBMITTALS, AND ACTIVITIES THAT REQUIRE SEQUENTIAL OPERATIONS. ALLOW 3 WORKING DAYS FOR REVIEW BY ARCHITECT.

- GENERAL NOTES:**
- CONSTRUCTION NOTES APPLY TO ALL TRADES. THESE NOTES ARE PROVIDED FOR GENERAL PROJECT INFORMATION AND ARE TO BE APPLIED TO ALL AREAS OF THE PROJECT WHERE WORK IS BEING COMPLETED.
 - ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES IN FORCE AT TIME OF CONSTRUCTION.
 - DO NOT SCALE DRAWINGS.
 - VERIFY DIMENSIONS IN FIELD. NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND DRAWINGS AND PRIOR TO COMMENCING WITH WORK IN QUESTION.
 - UNLESS NOTED OTHERWISE, PLAN DIMENSIONS ARE AS FOLLOWS:
 - EXTERIOR DIMENSIONS TO FACE OF BRICK AND FACE OF SHIPLAP.
 - INTERIOR DIMENSIONS TO FACE OF FINISH WALL, FURRED OR NOT.
 - INSTALL DOORS NOT LOCATED BY DIMENSION SUCH THAT EDGE OF DOOR FRAME TO FACE OF ADJACENT WALL IS 0" UNLESS DOOR IS SHOWN TIGHT TO WALL. THEN DIM IS 0'-0".
 - PROTECT EXISTING CONSTRUCTION TO REMAIN. REPAIR AND REPLACE MATERIALS TO MATCH EXISTING ADJACENT CONSTRUCTION AND FINISHES TO REMAIN UNLESS NOTED OTHERWISE.
 - EXISTING UTILITIES LOCATIONS PROVIDED BY OWNER. VERIFY EXISTING UTILITY LOCATIONS USING STATE ONE CALL SYSTEM BEFORE CONSTRUCTION STARTS. COORDINATE NEW UTILITY LOCATIONS, CONNECTIONS, AND PENETRATIONS WITH FINDINGS.
 - PRIOR TO PROCEEDING WITH WORK, COORDINATE SIZE AND LOCATION OF ALL OPENINGS AND ROUGH-OUTS THROUGH SLABS, WALLS, CEILINGS, AND ROOFS FOR DUCTS, PIPES, CONDUITS, CABINETS AND EQUIPMENT.
 - COORDINATE ELECTRICAL AND SWITCH LOCATIONS TO AVOID CONFLICTS WITH CASEWORK, DOORS, AND OTHER TRADES.
 - COVER AND PROTECT HVAC SUPPLY/RETURN GRILLES TO PREVENT DUST INFILTRATION INTO HVAC SYSTEM SERVING AREAS OUTSIDE PROJECT EXTENTS.
 - INSTALL JOINT SEALANT AT EXTERIOR SIDE OF JOINTS, SEAMS, CONNECTIONS, OR OPENINGS WHICH WOULD ALLOW WATER OR AIR INFILTRATION UNLESS NOTED OTHERWISE.
 - SEAL PERIMETER JOINTS, PENETRATIONS, VOIDS, AND PERIMETER OF DEVICE WALL BOXES THROUGH INTERIOR GYPSUM BOARD SURFACE OF EXTERIOR WALLS WITH LATEX JOINT SEALANT.

- DOOR SCHEDULE GENERAL NOTES:**
- REFER TO FINISH SCHEDULE AND KEY FOR MATERIALS AND LOCATIONS.
 - PROVIDE FULLY TEMPERED GLAZING AT ALL LOCATIONS RELATIVE TO HEIGHT ABOVE FINISH FLOOR AND DOOR LATCH PER 2012 IRC
 - PROVIDE UNDERCUT FOR TOILET ROOM DOOR

- PARTITION SYSTEM GENERAL NOTES:**
- SEAL PERIMETER JOINTS, PENETRATIONS, VOIDS, AND PERIMETER OF DEVICE WALL BOXES OF IN INTERIOR GYPSUM BOARD AND STRUCTURE AT EXTERIOR WALLS WITH LATEX ACOUSTICAL JOINT SEALANT.
 - PREPARE WALL SURFACE FOR PAINT FINISH.
 - INSTALL VERTICAL AND HORIZONTAL CONTROL JOINTS, PER REFERENCED STANDARDS, TO PREVENT CRACKS. NOT ALL CONTROL JOINT LOCATIONS ARE SHOWN.
 - PROVIDE GYPSUM BOARD, TYPE X, ASTM C 1396/C 1396M TYPICAL.
 - PROVIDE CEMENTITIOUS BACKER BOARD IN LIEU OF GYP BD ON PARTITIONS TO HAVE TILE FINISH. THICKNESS PER PARTITION TYPE.
 - PROVIDE MOLD AND MOISTURE-RESISTANT GYP BD AT INTERIOR FACE OF EXTERIOR WALLS AND WET LOCATIONS.
 - GYPSUM BOARD FINISH LEVELS: ASTM C840.
 - LEVEL 1: CEILING PLENUM AREAS, CONCEALED AREAS, AND WHERE INDICATED.
 - LEVEL 2: TILE SUBSTRATE.
 - LEVEL 4: AT PANEL SURFACES THAT WILL BE EXPOSED TO VIEW UNLESS OTHERWISE INDICATED.

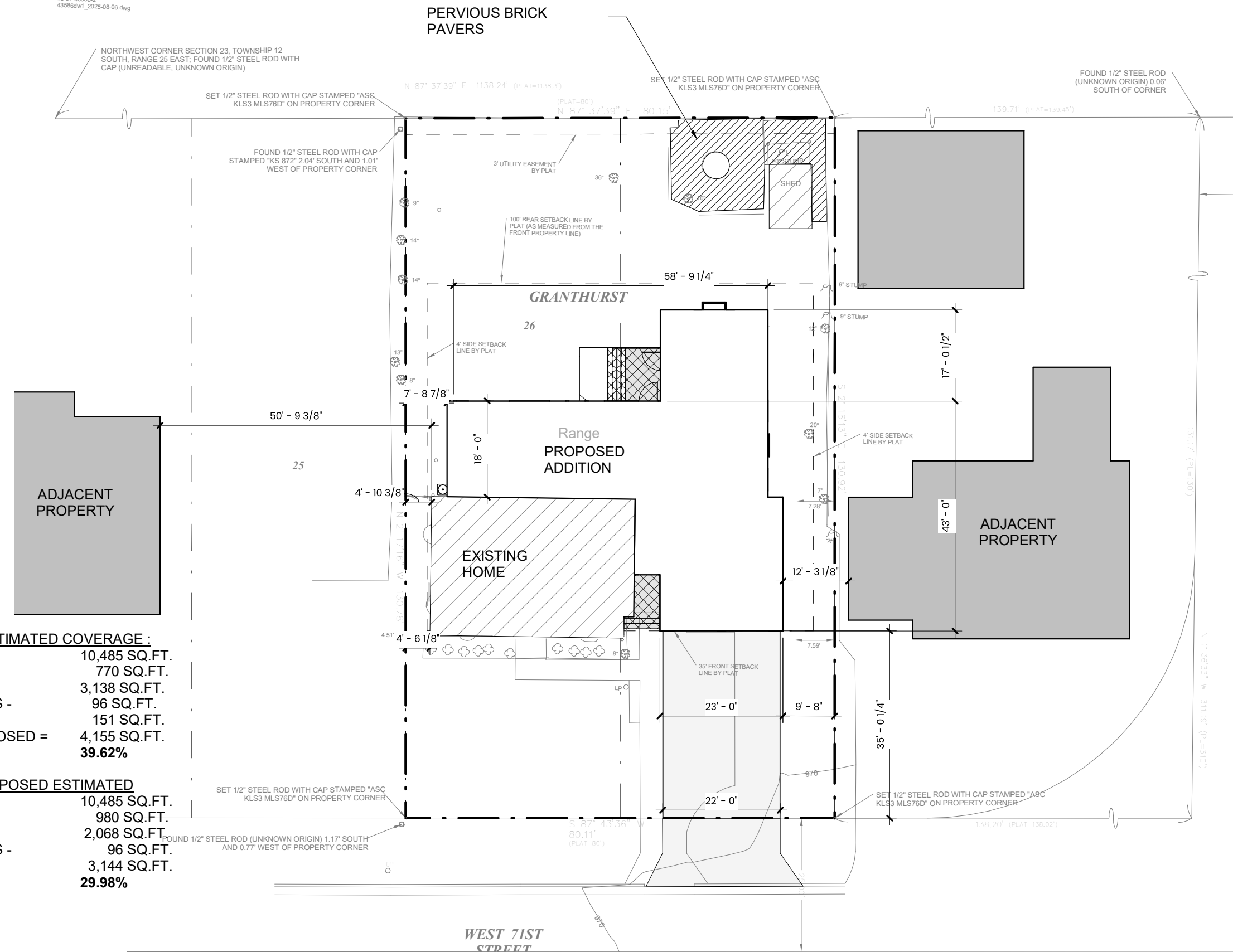
- PLAN GENERAL NOTES:**
- BOUNDARY OF PROJECT EXTENTS INDICATED ARE APPROXIMATED TO INCLUDE GENERAL AREAS OF WORK; ACTUAL PROJECT EXTENTS AND STAGING ARE AT DISCRETION OF CONTRACTOR AND AS APPROVED BY OWNER.
 - SIZE WALL INFILL AT EXISTING WALLS TO MATCH EXISTING WALLS. FACE OF NEW FINISH TO BE FLUSH WITH EXISTING FINISHED FACE ON EACH SIDE OF WALL.
 - SLOPE FLOOR TO FLOOR DRAINS AT 1/8" PER FOOT IN ALL DIRECTIONS, FROM TOP OF DRAIN UP TO INDICATED FLOOR ELEVATION, UNLESS NOTED OTHERWISE.
 - SEE REFLECTED CEILING PLANS (RCP) SHEET FOR CEILING HEIGHTS, MATERIALS UNLESS OTHERWISE NOTED.
 - SEE INTERIOR ELEVATIONS FOR ADDITIONAL FINISH LOCATIONS, EXTENTS, AND INFORMATION PROVIDE TRANSITION PROFILE BETWEEN FLOOR FINISHES.
 - REPAIR, PATCH, AND FINISH EXISTING CONSTRUCTION SCHEDULED TO REMAIN IMPACTED BY DEMOLITION WORK. PROVIDE NEW FINISH AS SCHEDULED TO ENTIRE EXISTING SURFACE IN PLANE WITH NEW CONSTRUCTION TO PROVIDE CONSISTENT FINISH.
 - WHITE COVER PLATES AND DEVICES WHERE INSTALLED ON WHITE-PAINTED GYPSUM BOARD WALLS AND CEILINGS, AND CERAMIC TILE FINISHES: HVAC DIFFUSER FINISHES: WHITE UNLESS OTHERWISE INDICATED.
 - LEVEL FLOOR PRIOR TO FLOORING INSTALLATION.
 - ALL FLOOR MATERIAL CHANGES SHALL OCCUR AT CENTER OF DOOR LEAF.
 - PROVIDE 3 COAT PAINT FINISH - 1 PRIMER AND 2 TOP COATS
 - BASIS OF DESIGN: SHERWIN WILLIAMS, PROMAR 200 ZERO VOC
 - FLAT: CEILING
 - EGG-SHELL: VERTICAL SURFACES.
 - SEMI-GLOSS: AS INDICATED

- ROOFING GENERAL NOTES:**
- SEAL AND FLASH ALL PENETRATIONS AND CURBS PER ROOFING SYSTEM MANUFACTURER'S STANDARD DETAILS.
 - ALL PENETRATIONS INTO ROOFING SYSTEM THROUGH ROOF STRUCTURE FROM BUILDING INTERIOR ARE TO BE SEALED WITH ROOFING SYSTEMS AIR BARRIER AND SEALANT SYSTEMS TO PREVENT AIR INFILTRATION INTO ROOFING SYSTEM.
 - COORDINATE EXACT LOCATIONS OF ROOFTOP EQUIPMENT AND PENETRATIONS WITH STRUCTURE. REINFORCE OPENINGS AS REQUIRED.
 - PROVIDE EQUIPMENT CURBS / RAFTERS FOR ALL ROOF MOUNTED EQUIPMENT.
 - MAINTAIN ROOFING SYSTEM MANUFACTURER'S MINIMUM REQUIRED SLOPE.
 - PROVIDE ROOF INSULATION CRICKETS WITH POSITIVE SLOPES AT ALL EQUIPMENT, CURBS AND ROOF PENETRATIONS.
 - MAINTAIN CONTINUITY OF VAPOR BARRIER BETWEEN ROOF AND WALL ASSEMBLIES.

- REFLECTED CEILING PLAN GENERAL NOTES:**
- ALL DIMENSIONS ON REFLECTED CEILING PLANS ARE CLEAR DIMENSIONS UNLESS NOTED OTHERWISE.
 - REFER TO INTERIOR ELEVATIONS AND BUILDING ELEVATIONS FOR MOUNTING HEIGHT OF WALL MOUNTED LIGHTS.



EXTERIOR RENDERING



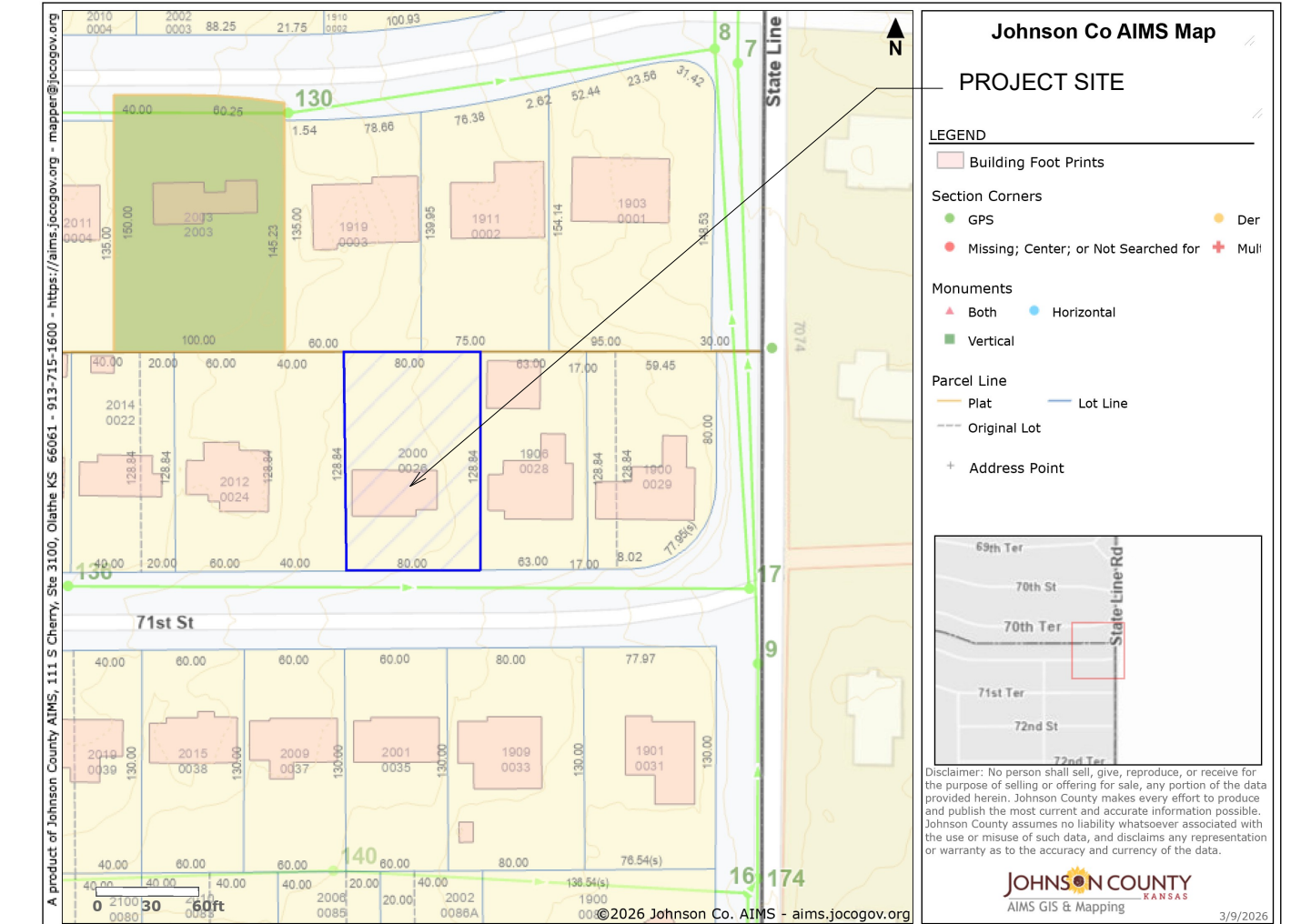
IMPERVIOUS SURFACE ESTIMATED COVERAGE:

LOT SIZE -	10,485 SQ.FT.
DRIVE WAY -	770 SQ.FT.
RESIDENCE -	3,138 SQ.FT.
ACCESSORY STRUCTURES -	96 SQ.FT.
PATIO AND WALKS -	151 SQ.FT.
TOTAL IMPERVIOUS PROPOSED =	4,155 SQ.FT.
TOTAL COVERAGE =	39.62%

BUILDING COVERAGE PROPOSED ESTIMATED

LOT SIZE -	10,485 SQ.FT.
EXISTING HOME -	980 SQ.FT.
ADDITION -	2,068 SQ.FT.
ACCESSORY STRUCTURES -	96 SQ.FT.
TOTAL PROPOSED =	3,144 SQ.FT.
TOTAL COVERAGE -	29.98%

GENERAL NOTES



VICINITY PLAN - NTS

PARCEL DATA
 OWNER 1: TOWNSLEY, TRAVIS
 OWNER 2: TOWNSLEY, JESSICA
 TAX PROPERTY ID: OP11000000 0026
 ACRES: 0.23 (10,199.52 I2)
 ADDRESS: 2000 W 71ST ST, PRAIRIE VILLAGE, KS 66208
 ZONING: R-1B
 LAND USE: 1101 - SINGLE FAMILY RESIDENCE
 LEGAL DESCRIPTION: GRANTHURST LTS 26 & 27 PVC 3422

CODE INFORMATION
 CODE ENFORCEMENT JURISDICTION: CITY OF P.V., KS
 ADOPTED CODES:
 2018 INTERNATIONAL BUILDING CODE
 2018 INTERNATIONAL RESIDENTIAL CODE
 2018 INTERNATIONAL PLUMBING CODE
 2018 INTERNATIONAL MECHANICAL CODE
 2018 INTERNATIONAL FUEL GAS CODE
 2018 INTERNATIONAL ENERGY CONSERVATION CODE
 2017 NATIONAL ELECTRICAL CODE
 2018 INTERNATIONAL EXISTING BUILDING CODE
 2018 SWIMMING POOL AND SPA CODE
 2018 PROPERTY MAINTENANCE CODE
 2018 INTERNATIONAL FIRE CODE

PROJECT DESCRIPTION
 INTERIOR RENOVATION COUPLED WITH NEW ADDITION TO COMPRISE OF NEW KITCHEN, LIVING, DINING, GARAGE, BEDROOM SPACES, AND UNFINISHED BASEMENT

ENERGY COMPLIANCE SUMMARY

ITEM	REQUIREMENT (IECC 2018 CZ-4A)	PROPOSED
COMPLIANCE PATH	PRESCRIPTIVE / RESCHECK / ERI	PRESCRIPTIVE
CEILING / ATTIC	R-49	R-49
WOOD FRAME WALLS	R-20 OR R-13 + R-5 CI	R-20
FLOOR OVER UNCONDITIONED SPACE	R-30	R-30
BASEMENT / CRAWL WALL	R-10 CI OR R-13	R-13
WINDOWS / GLAZED DOORS	U-0.32 MAX	U-0.32
SKYLIGHTS	U-0.55 MAX	U-0.55
AIR LEAKAGE	≤ 3 ACH50	≤ 3 ACH50
DUCT INSULATION	R-6 ATTIC / R-6 OTHER	R-6 ATTIC / R-6 OTHER
LIGHTING	≥ 75% HIGH-EFFICACY	≥ 75% HIGH-EFFICACY

- ENERGY NOTES — ADDITION WITH NEW HVAC**
- CONSTRUCTION SHALL COMPLY WITH THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC), RESIDENTIAL, AS ADOPTED BY THE CITY OF PRAIRIE VILLAGE, KANSAS.
 - PROJECT IS LOCATED IN CLIMATE ZONE 4A.
 - NEW CONDITIONED SPACE ASSOCIATED WITH THIS ADDITION SHALL COMPLY FULLY WITH IECC REQUIREMENTS.
 - EXISTING PORTIONS OF THE DWELLING NOT ALTERED ARE NOT REQUIRED TO BE UPGRADED PER IECC CHAPTER 5.
 - A BLOWER DOOR TEST VERIFYING ≤ 3 ACH50 SHALL BE PROVIDED PRIOR TO FINAL INSPECTION.
 - BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED IN ACCORDANCE WITH IECC SECTION R402.4.
 - NEW HVAC EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL J (LOAD CALCULATIONS) AND INSTALLED PER MANUFACTURER REQUIREMENTS.
 - DUCT SYSTEMS SHALL BE SEALED AND INSULATED PER IECC SECTION R403 AND TESTED WHERE REQUIRED.
 - PROGRAMMABLE OR SETBACK THERMOSTAT(S) SHALL BE PROVIDED FOR NEW HVAC EQUIPMENT.
 - SUPPLY AND RETURN DUCTS LOCATED OUTSIDE THE THERMAL ENVELOPE SHALL BE INSULATED AND SEALED.
 - NOT LESS THAN 75% OF PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY.

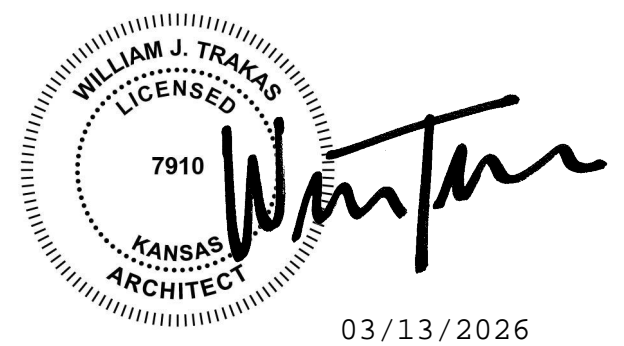
CODE INFORMATION



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TOWNSLEY RESIDENCE

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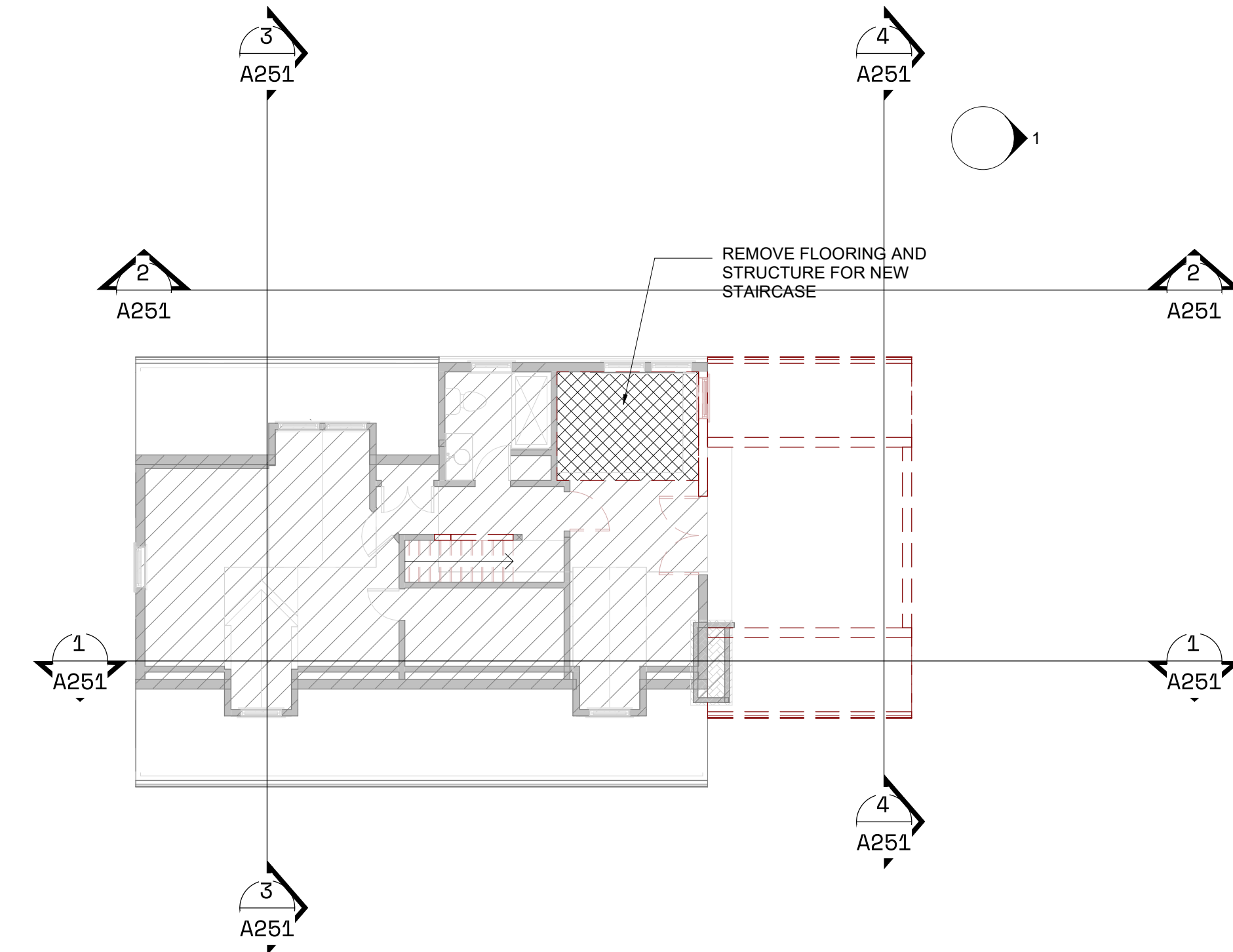
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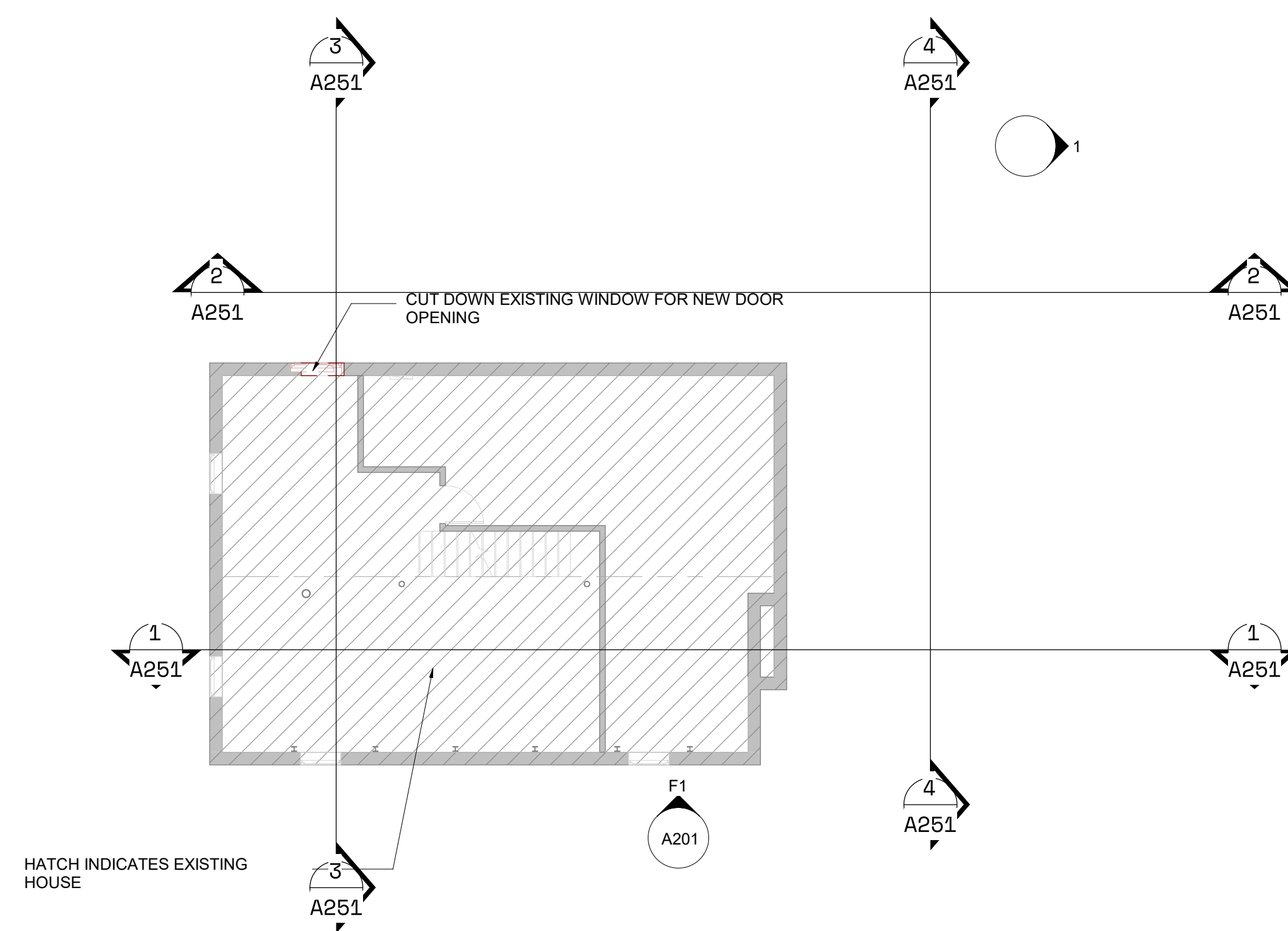
COVER SHEET

G000

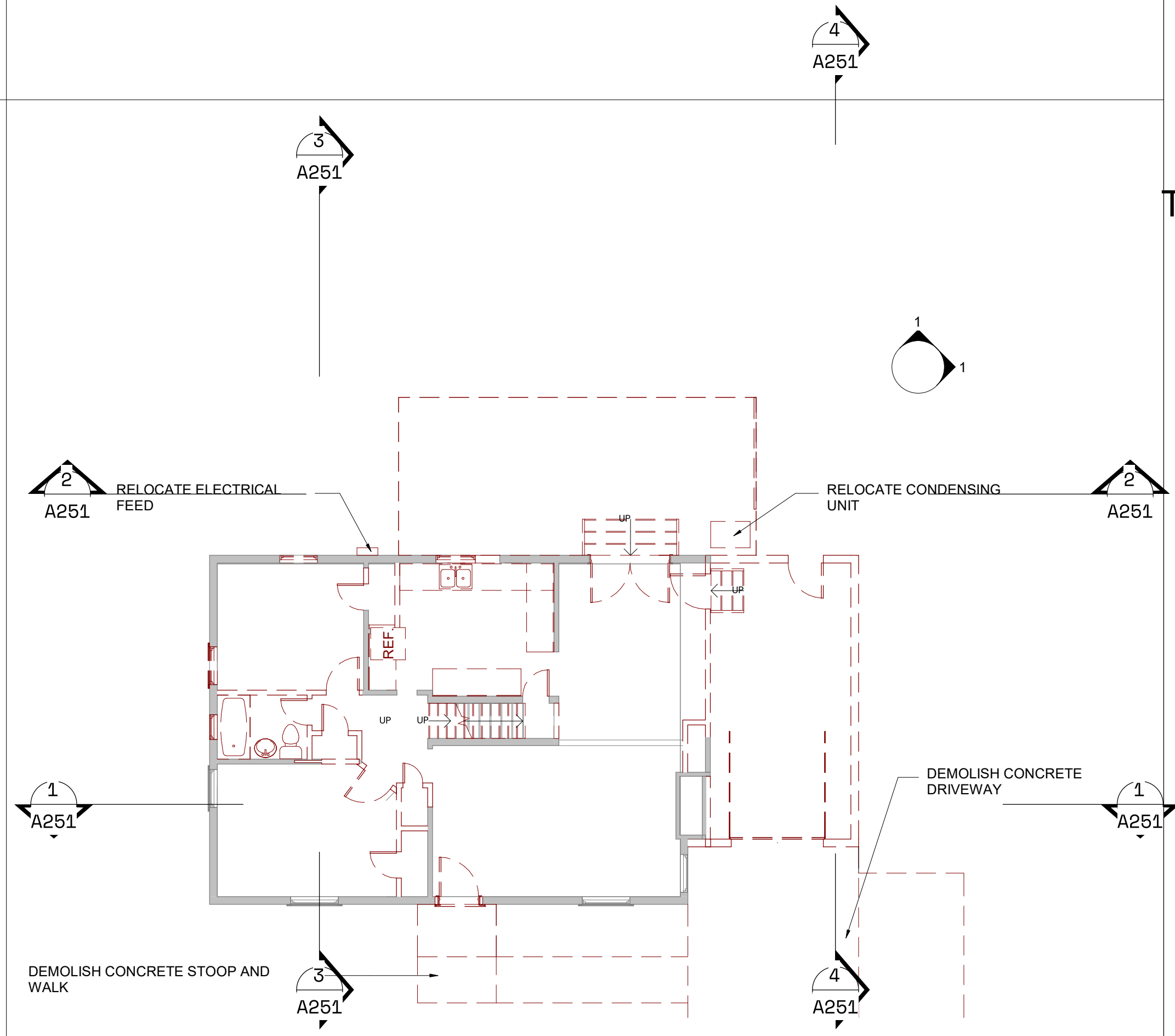
- DEMOLITION NOTES:**
- DEMOLITION GENERAL NOTES APPLY TO ALL DEMOLITION SHEETS.
 - REFER TO EXISTING RECORD DOCUMENTS PROVIDED BY OWNER FOR COORDINATION WITH EXISTING CONDITIONS AND FIELD VERIFICATION.
 - THESE DRAWINGS ARE PROVIDED AS A GENERAL GUIDE FOR DEMOLITION. CONTRACTOR ASSUMES RESPONSIBILITY FOR VERIFYING ADDITIONAL DEMOLITION THAT MAY BE REQUIRED FOR PROPER INSTALLATION OF NEW WORK. REFER TO ALL ARCHITECTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION AND COORDINATION.
 - FIELD VERIFY EXISTING CONDITIONS BEFORE COMMENCING ANY WORK. ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES DETRIMENTAL TO THE PROPER EXECUTION OF NEW CONSTRUCTION.
 - ALL DEMOLITION WORK SHALL COMPLY WITH KCMO BUILDING CODE AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS, ORDINANCES, AND REGULATIONS.
 - EXISTING WALLS SHOWN GRAPHICALLY AS SOLID GRAY TO REMAIN. PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AND PREPARE SURFACES TO RECEIVE NEW CONSTRUCTION OR FINISHES.
 - CARE SHOULD BE MADE TO KEEP DUST AND NOISE FROM DEMOLITION ACTIVITIES FROM THE OTHER PORTIONS AND FLOORS OF THE BUILDING. ERECT AND MAINTAIN DUSTPROOF PARTITIONS, COVER AND PROTECT FURNITURE, FURNISHINGS AND EQUIPMENT THAT HAVE NOT BEEN REMOVED.
 - MAINTAIN SERVICES/SYSTEMS THAT REMAIN, AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION, PROVIDE TEMPORARY SERVICES/SYSTEMS THAT BYPASS AREA OF SELECTIVE DEMOLITION AND THAT MAINTAIN CONTINUITY OF SERVICE TO OTHER PARTS OF THE BUILDING.
 - NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE ADJOINING CONSTRUCTION TO REMAIN.
 - SHORE AND BRACE EXISTING STRUCTURE AS REQUIRED PRIOR TO START OF DEMOLITION WORK.
 - FOR UTILITY INSTALLATION, REMOVE ONLY PORTIONS OF PARTITIONS REQUIRED FOR PENETRATIONS THROUGH EXISTING WALLS. PREPARE SURFACES FOR REPLACEMENT CONSTRUCTION.
 - PROTECT EXISTING CONSTRUCTION NOT INDICATED TO BE REMOVED, PATCH AND REPAIR ANY DAMAGE THAT MAY OCCUR. REPAIR OR REPLACE, AT NO COST TO THE OWNER, ALL AREAS OR ITEMS DAMAGED DURING THE DEMOLITION.
 - EXTENTS OF SELECTIVE DEMOLITION WORK INDICATED. THOSE NOT DIMENSIONED ARE APPROXIMATED TO REPRESENT DESIGN INTENT. MODIFY EXTENTS AS REQUIRED TO PROVIDE NEW WORK INDICATED.
 - RETURN IMPACTED AREAS OF EXISTING CONSTRUCTION SCHEDULED TO REMAIN TO ORIGINAL CONDITION UNLESS NOTED OTHERWISE.
 - PATCH SURFACES TO MATCH ADJACENT CONSTRUCTION AT ALL REMOVED DEVICES.
 - PREPARE ALL WALLS FOR NEW PAINT FINISH.
 - TERMINATE AND CAP WATER SERVICE, WASTE, AND VENT LINE WITHIN EXISTING WALL CONSTRUCTION AT PLUMBING FIXTURE REMOVAL WHERE EXISTING WALL TO REMAIN UNLESS NOTED OTHERWISE.
 - COORDINATE DEMOLITION WORK WITH NEW WORK AS REQUIRED. REMOVE EXISTING CONSTRUCTION THAT CONFLICTS WITH NEW WORK.
 - CONSULTANT STRUCTURAL ENGINEER PRIOR TO REMOVING BUILDING STRUCTURE NOT SPECIFICALLY INDICATED TO BE DEMOLISHED.
 - PROMPTLY REMOVE DEMOLISHED MATERIALS FROM OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.
 - DISPOSE OF ALL DEMOLITION WASTE IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. REFER TO SPECIFICATIONS FOR RECYCLING REQUIREMENTS.
 - SAW CUT PLASTER PARTITIONS AND CEILINGS TO PREVENT DELAMINATION OF PLASTER FROM LATH WHERE SELECTIVE DEMOLITION IS INDICATED.
 - IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY SUPERINTENDENT AND OWNER.
 - CONSTRUCTION MANAGER SHALL OUTLINE SCHEDULE, ORDER AND TIMELINE OF MASS AND SELECTIVE DEMOLITION.
 - REMOVE ITEMS TO EXTENT INDICATED, INCLUDING CEILING, WALL AND FLOOR ANCHORS. PATCH ANCHOR HOLES WHERE CEILING, WALLS AND FLOORS ARE TO REMAIN.
 - FOR ALL EXTERIOR WINDOWS TO REMAIN. PROTECT FRAMES AND GLAZING DURING DEMOLITION AS NEEDED.
 - WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, DETERMINE THE NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
 - EXISTING CONDITIONS SHOWN ON DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND DO NOT SHOW ALL CONDITIONS THAT MAY AFFECT THE WORK OF THIS CONTRACT. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS.
 - WHEN DEMOLISHING A WALL THAT IS IN AN EXISTING CEILING TO REMAIN. TAKE CARE TO NOT DAMAGE EXISTING CEILING. PATCH AND REPAIR TO MATCH EXISTING CEILING AS NECESSARY. CM TO NOTE LOCATIONS OF ADDITIONAL DEMO FOR CONSTRUCTION ACTIVITIES NOT ACCOUNTED FOR IN DESIGN DOCUMENTS. THESE AREAS SHOULD BE INCLUDED IN PROJECT SCOPE & REPLACED WITH LIKE EXISTING OR IDENTIFIED CONSTRUCTION.



2 SECOND FLOOR PLAN
1/8" = 1'-0"



3 Floor Plan - Basement Demo
1/8" = 1'-0"



1 FIRST FLOOR - DEMOLITION PLAN
1/8" = 1'-0"



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TOWNSLEY RESIDENCE

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PRAIRIE VILLAGE, KS 66208

PERMIT DOCUMENTS

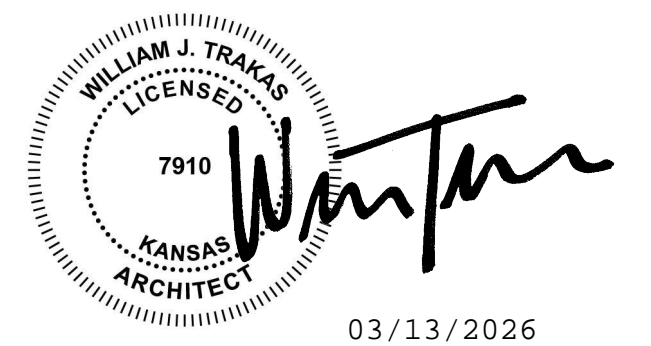
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DEMOLITION PLANS

AD101

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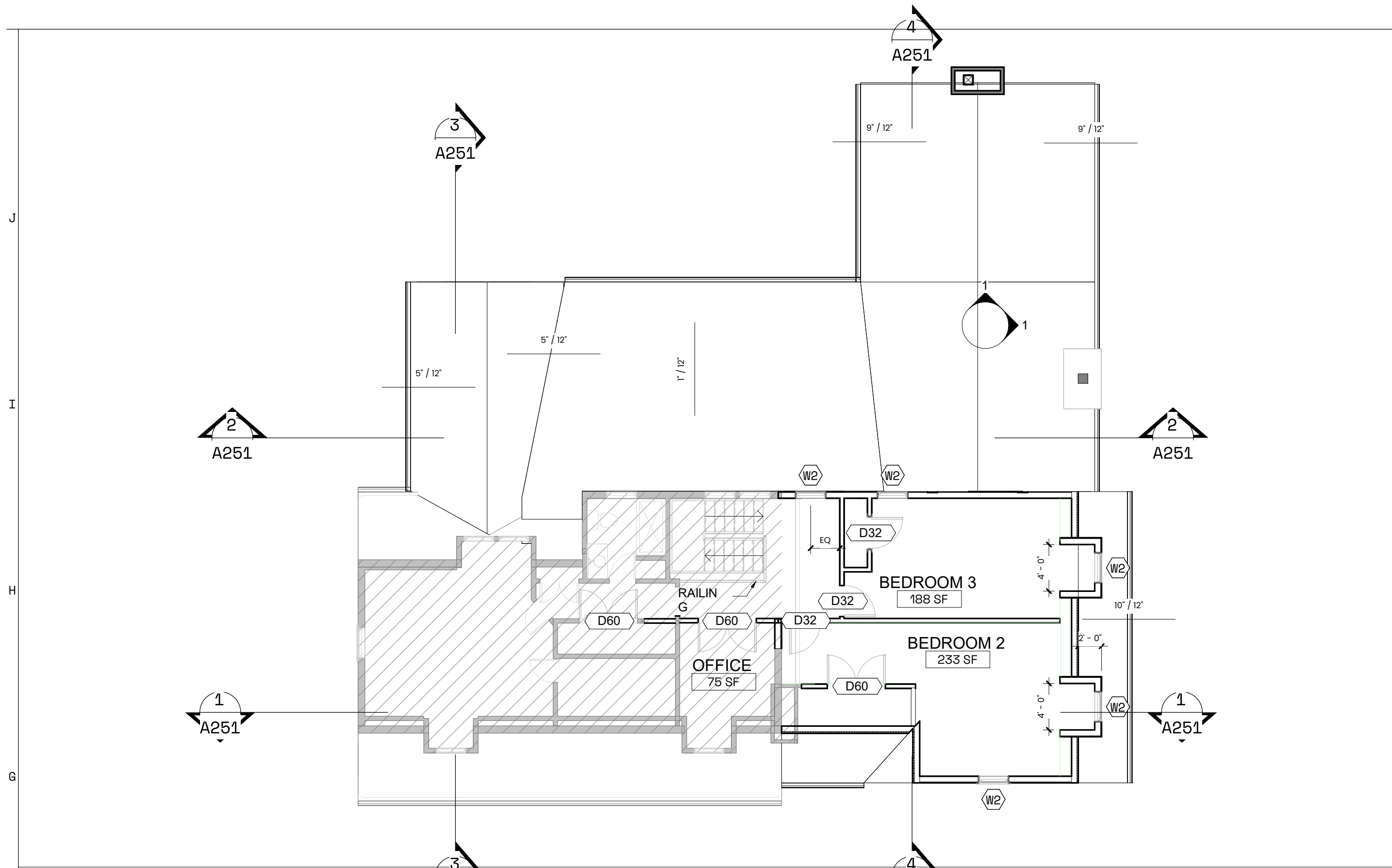
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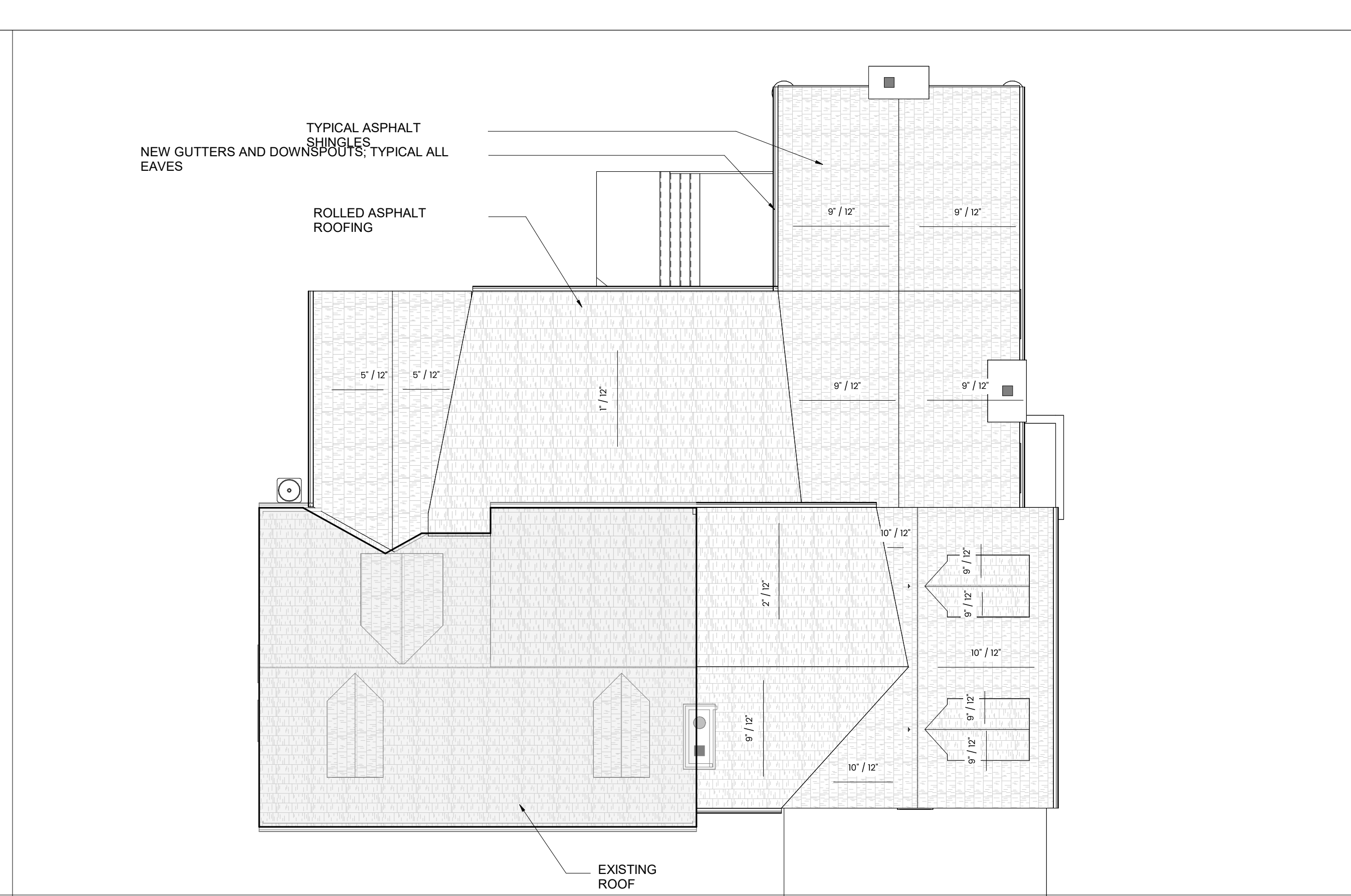
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FLOOR PLANS

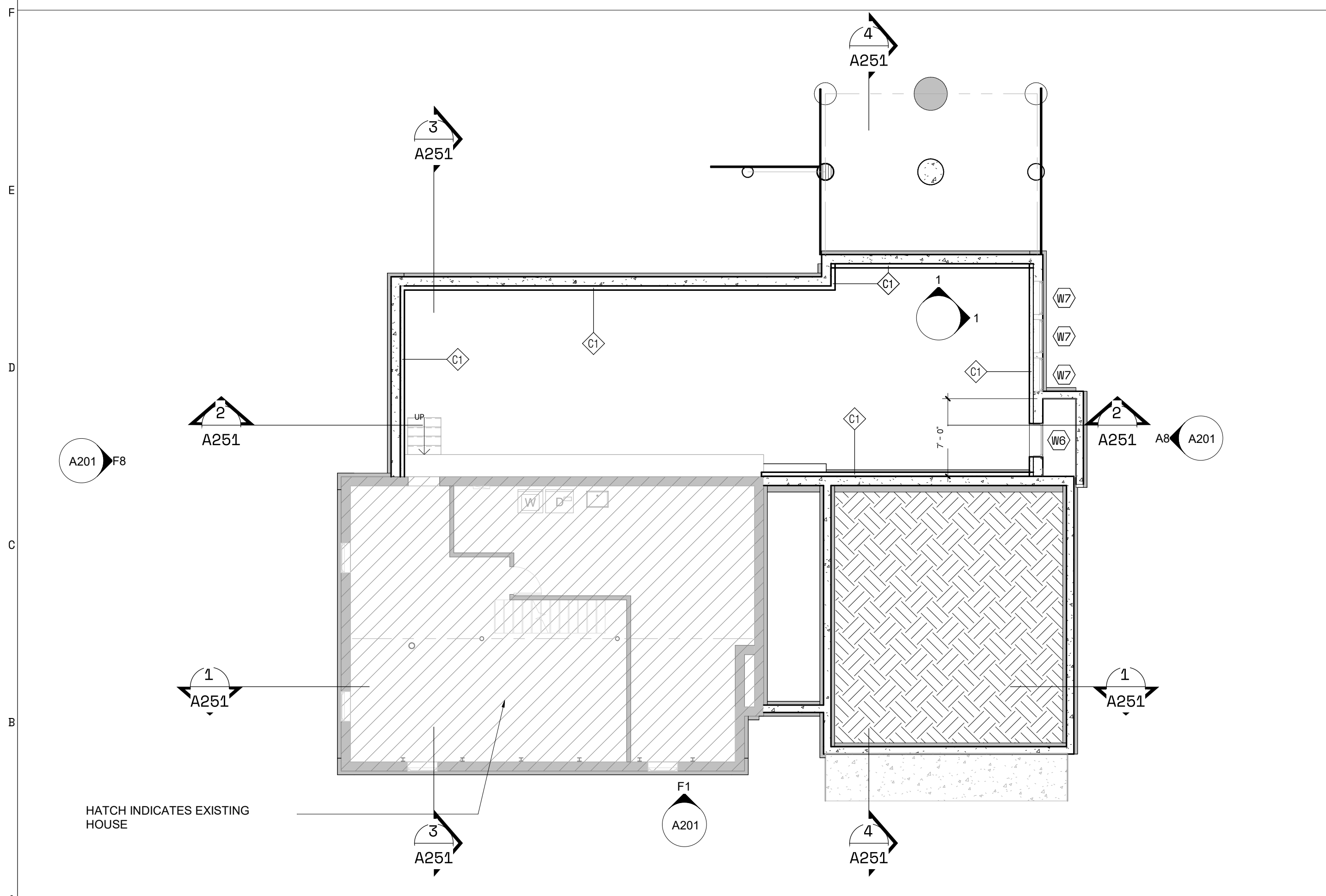
A101



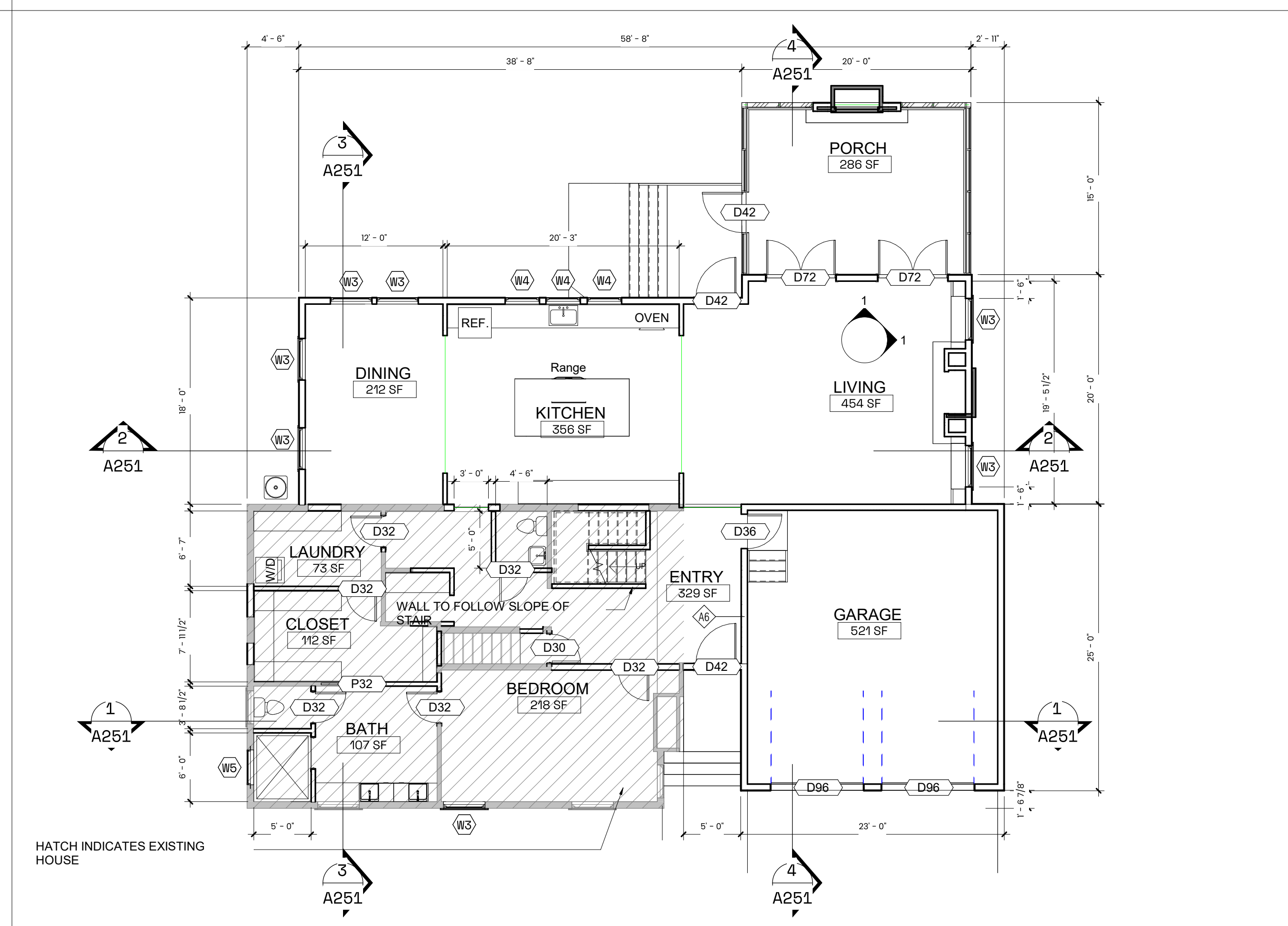
F1 SECOND FLOOR PLAN
 1/8" = 1'-0"



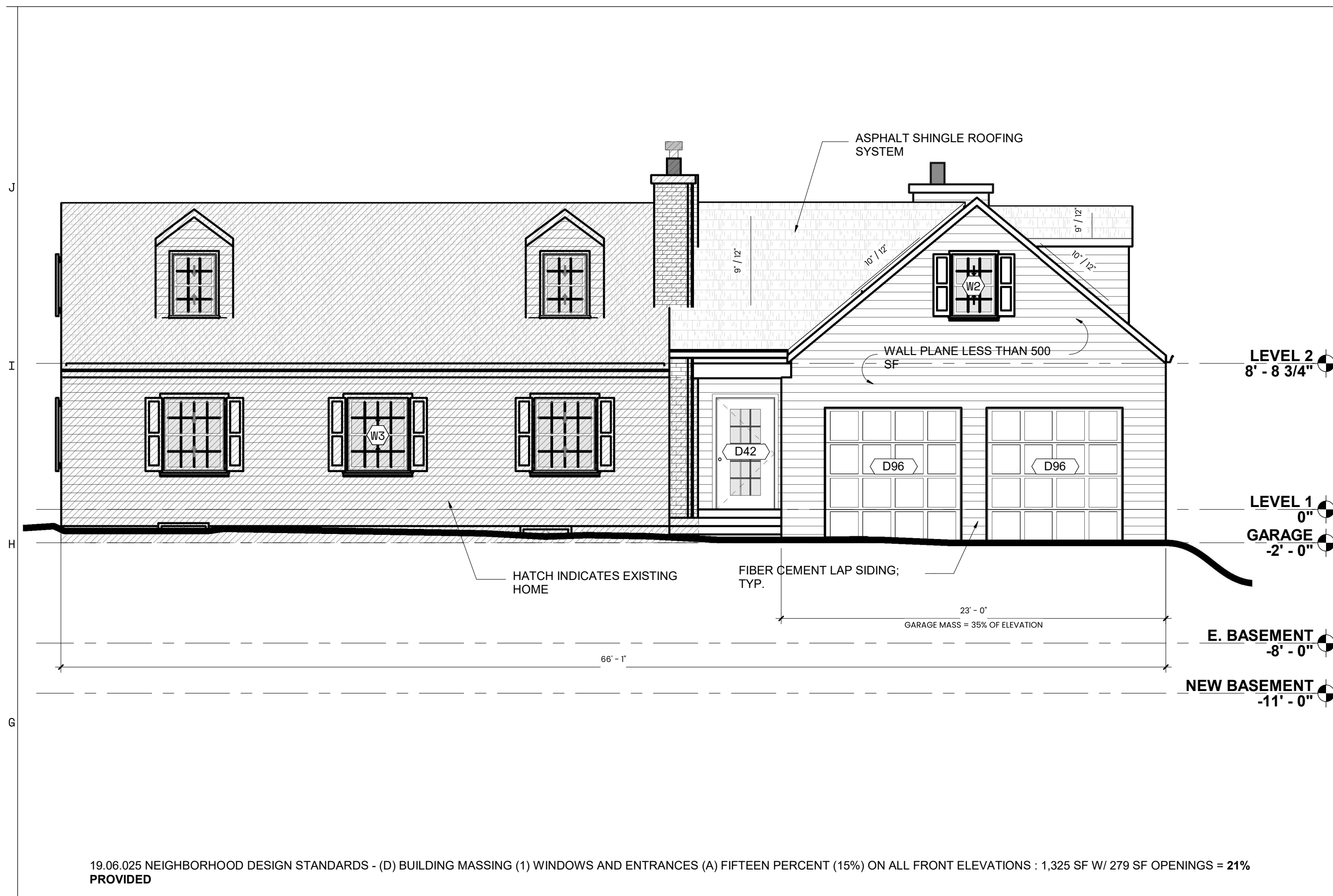
F8 ROOF PLAN
 1/8" = 1'-0"



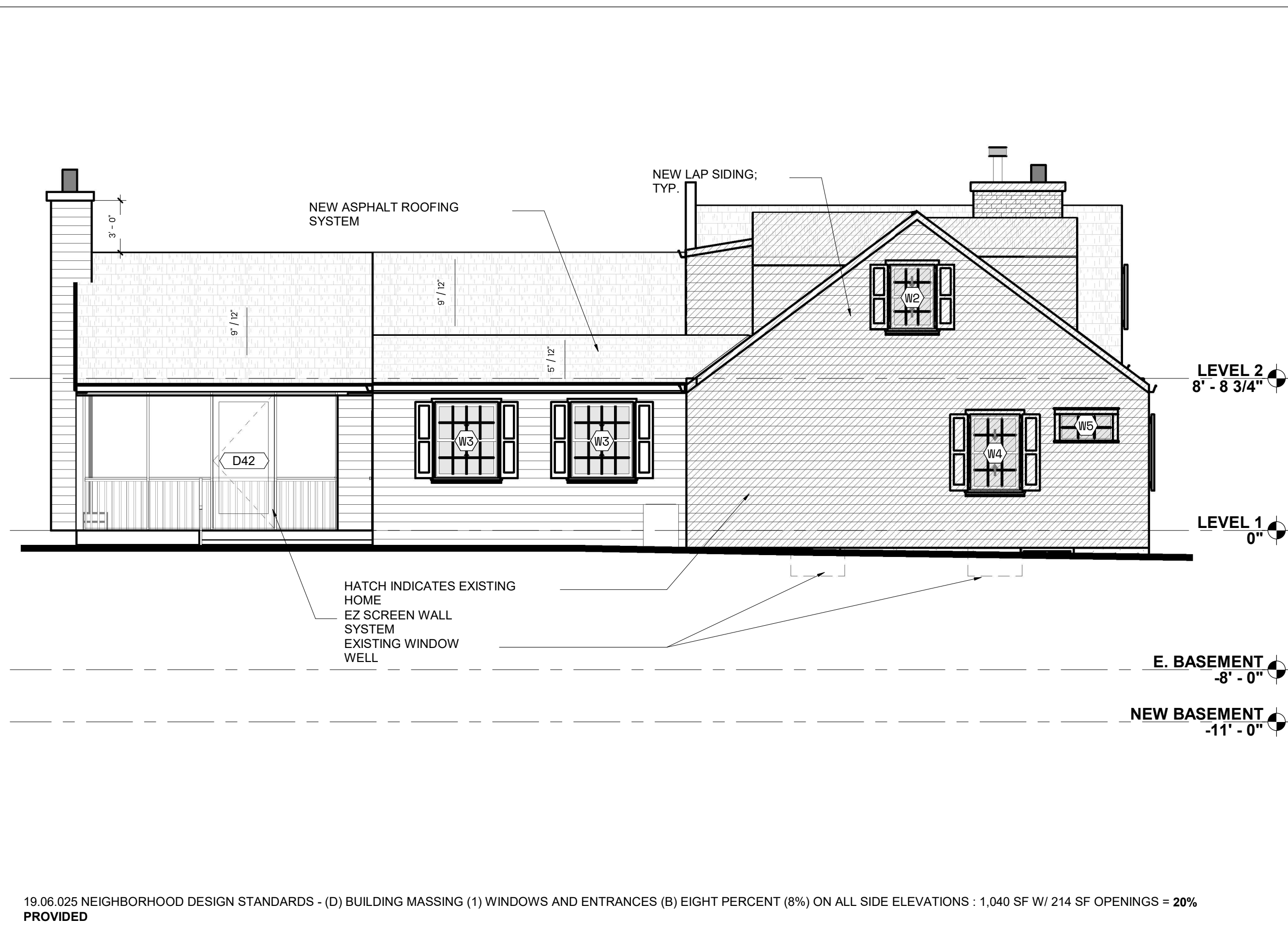
A1 Floor Plan - Basement
 1/8" = 1'-0"



A8 FIRST FLOOR
 1/8" = 1'-0"



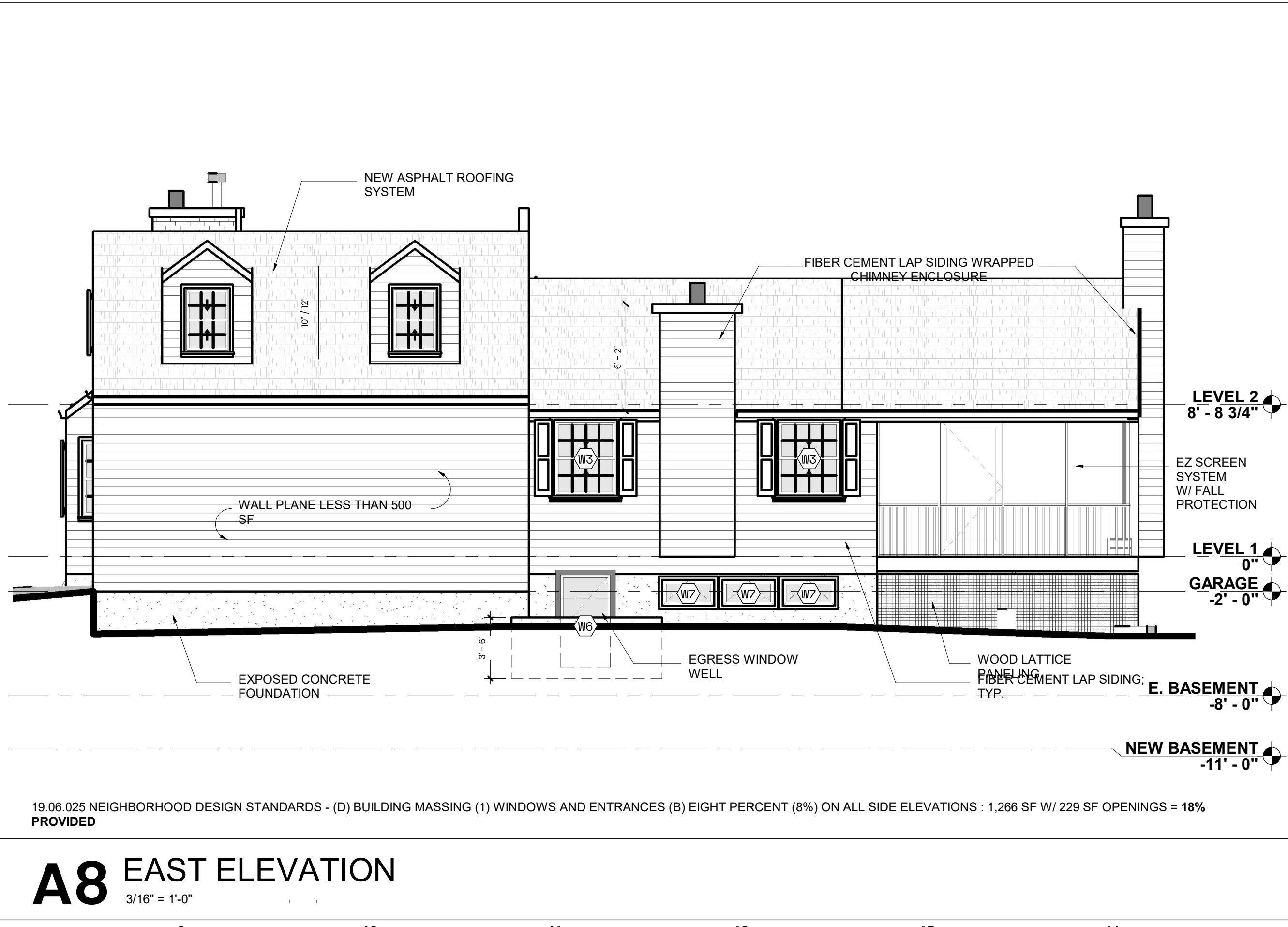
F1 SOUTH ELEVATION
3/16" = 1'-0"



F8 WEST ELEVATION
3/16" = 1'-0"



A1 NORTH ELEVATION
3/16" = 1'-0"



A8 EAST ELEVATION
3/16" = 1'-0"

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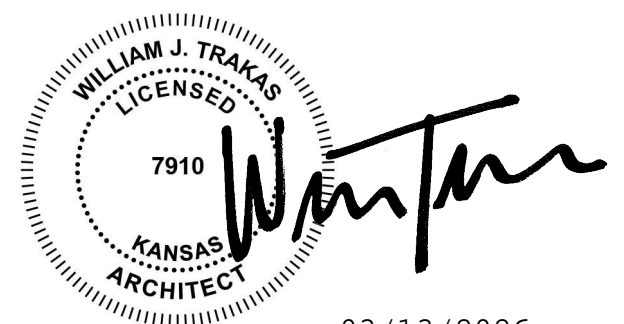
ELEVATIONS

A201

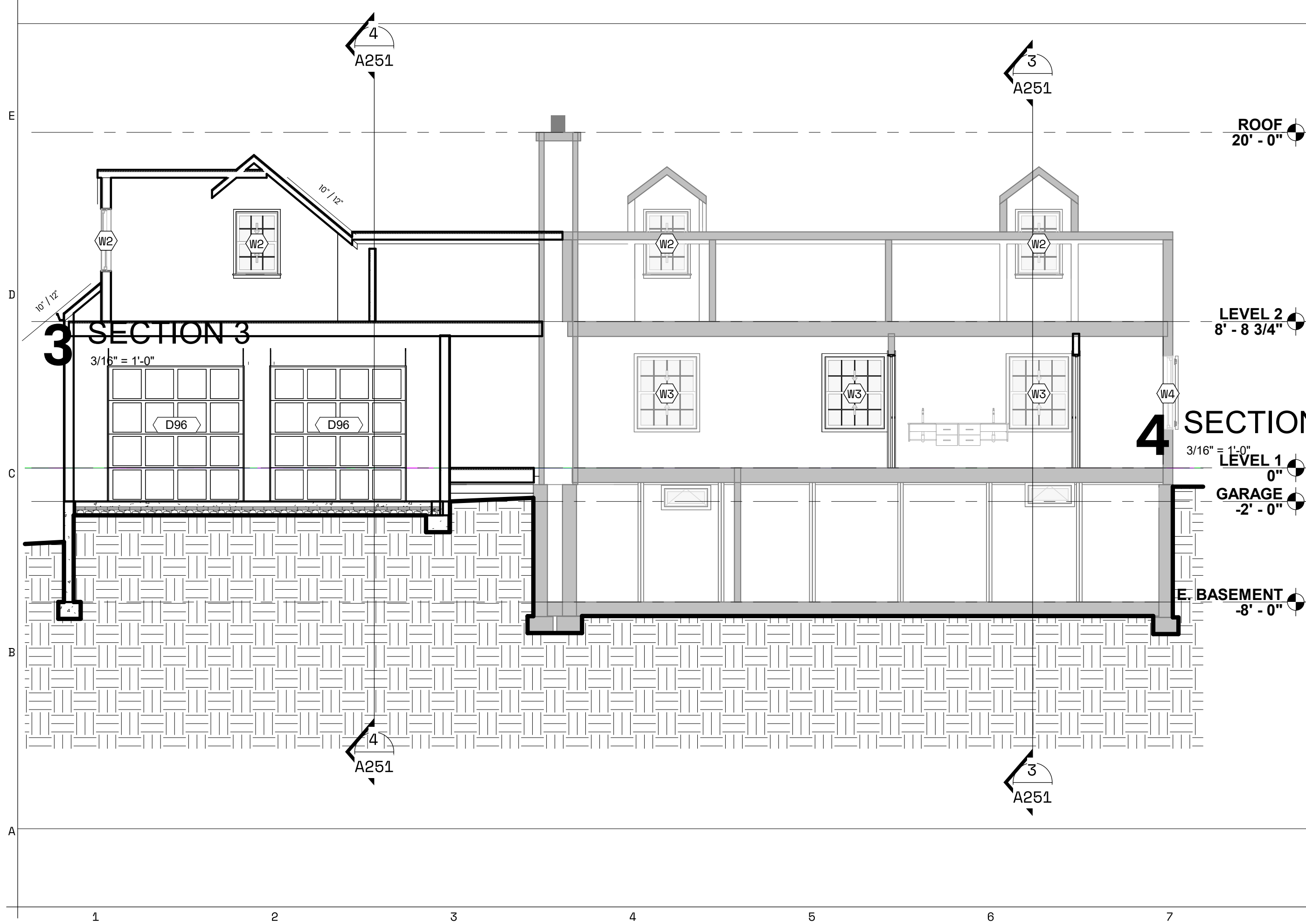
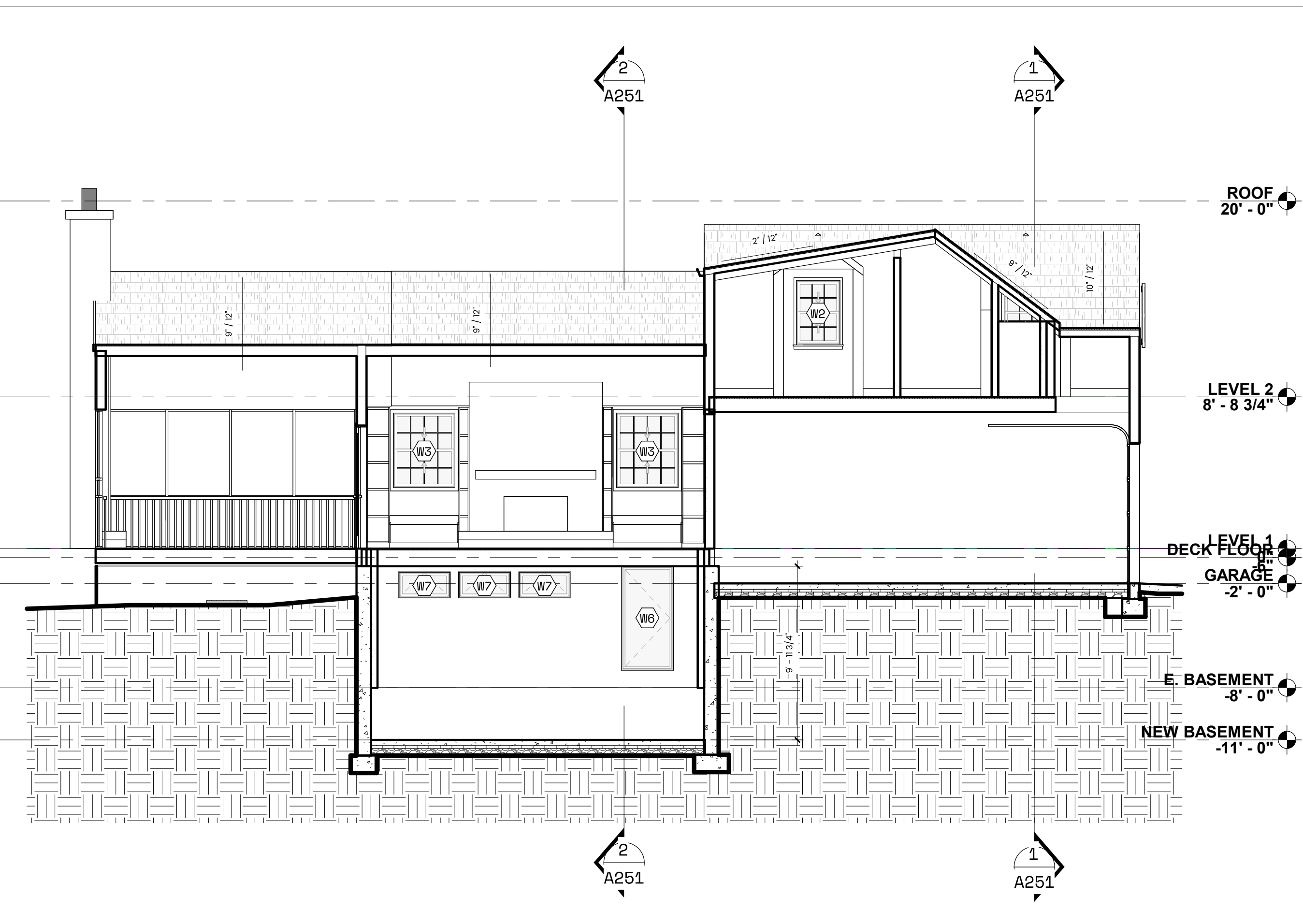
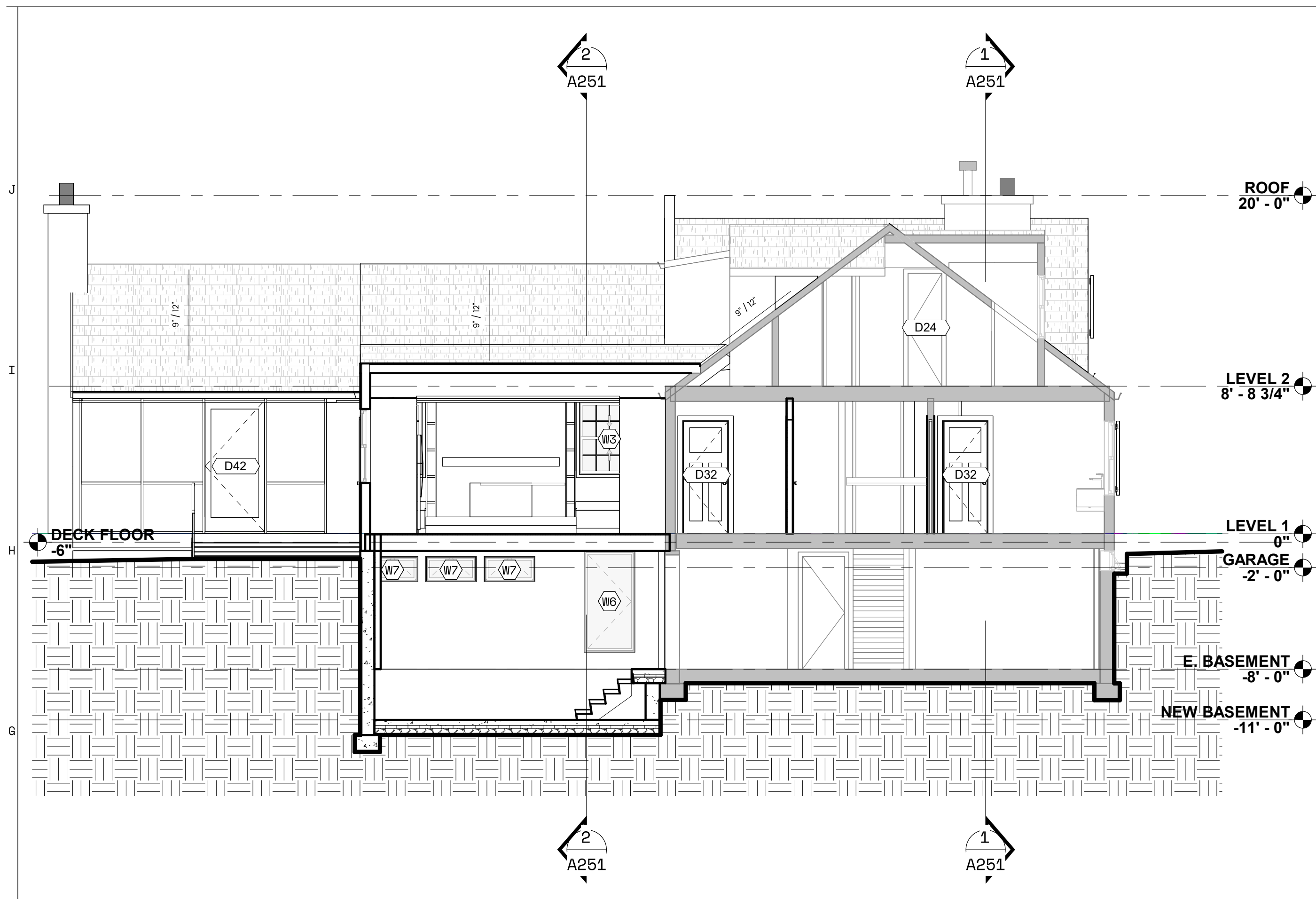
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BUILDING SECTIONS

A251

DOOR SCHEDULE GENERAL NOTES

- REFER TO COMMENTS COLUMN FOR GLASS TYPE.
- REFER TO COMMENTS COLUMN FOR TEMPERATURE RISE REQUIREMENTS.
- STANDARD ABBREVIATIONS FOR DOOR MATERIAL INCLUDE: SW=SOLID WOOD, ALUM=ALUMINUM, HM=HOLLOW METAL, STL=STEEL
- PROVIDE FULLY TEMPERED GLAZING AT ALL LOCATIONS RELATIVE TO HEIGHT ABOVE FINISH FLOOR AND DOOR LATCH PER APPLICABLE CODES AND ORDINANCES IN FORCE AT TIME OF CONSTRUCTION.
- PROVIDE UNDERCUT FOR RESTROOM DOORS EXCEPT WHERE DOOR LOUVERS ARE INDICATED. UNDERCUT DOORS TO CLEAR FLOORING MATERIAL BY 0.25 INCH.
- INTERIOR FLUSH WOOD DOOR: 5 PLY, AWI PREMIUM GRADE; REINFORCE TO PREVENT THROUGH-BOLTING HARDWARE.
- WALL MOUNT DOORSTOPS, UNLESS NOTED OTHERWISE.
- PAIRS OF DOORS TO HAVE APPLICABLE ASTRAGALS, FLUSH BOLTS, AND COORDINATORS, UNLESS NOTED OTHERWISE.
- HARDWARE FINISH: US26D, SATIN CHROME PLATED.
- HARDWARE TYPES:
 - HW-1 - EXTERIOR SWING; KEYED W/ DEADBOLT
 - HW-2 - INTERIOR SWING; PASSAGE
 - HW-3 - INTERIOR SWING; PRIVACY
 - HW-4 - INTERIOR POCKET; PRIVACY
 - HW-5 - INTERIOR POCKET; PASSAGE
 - HW-6 - INTERIOR BI-FOLD; PASSAGE
- DOOR TYPES:
 - EXT-1 - EXTERIOR DOOR, SOLID WOOD, 1/3 GLASS LITE, FACTORY PRIMED
 - EXT-2 - EXTERIOR DOOR, SOLID WOOD, FULL GLASS LITE, FACTORY PRIMED
 - INT-1 - INTERIOR DOOR, SOLID WOOD, FACTORY PRIMED
- FRAME TYPES:
 - 1 - EXTERIOR, WOOD FRAME, SINGLE SWING, FACTORY PRIMED
 - 2 - INTERIOR, WOOD FRAME, SINGLE SWING, FACTORY PRIMED
 - 3 - INTERIOR, WOOD FRAME, DOUBLE SWING, FACTORY PRIMED
 - 4 - INTERIOR, WOOD FRAME, POCKET, FACTORY PRIMED
 - 5 - INTERIOR, WOOD FRAME, BI-FOLD, FACTORY PRIMED

WINDOW SCHEDULE GENERAL NOTES

- REFER TO COMMENTS COLUMN FOR GLASS TYPE.
- PROVIDE FULLY TEMPERED GLAZING AT ALL LOCATIONS RELATIVE TO HEIGHT ABOVE FINISH FLOOR PER APPLICABLE CODES AND ORDINANCES IN FORCE AT TIME OF CONSTRUCTION.
- HARDWARE FINISH: US26D, SATIN CHROME PLATED.
- FRAME FINISH: ARCHITECT TO SELECT FROM MANUFACTURER'S FULL LINE OF STANDARD COLORS
- WINDOW TYPES:
 - FM - FIXED WINDOW WITH MUNTINS
 - FW - FIXED WINDOW
 - DH - DOUBLE HUNG WINDOW
 - L - LOUVERED

FINISH SCHEDULE GENERAL NOTES:

- ALL CEILINGS [PT-1] UNLESS NOTED OTHERWISE.
- ALL WALLS [PT-2] UNLESS NOTED OTHERWISE.
- SEE PARTITION TYPES FOR SUBSTRATE MATERIAL.
- SEE REFLECTED CEILING PLANS (RCP) FOR CEILING HEIGHTS, MATERIALS, AND FINISHES UNLESS OTHERWISE NOTED.
- SEE INTERIOR ELEVATIONS FOR ADDITIONAL FINISH LOCATIONS, EXTENTS, AND INFORMATION
- PROVIDE TRANSITION PROFILE BETWEEN FLOOR FINISHES. PROVIDE METAL EDGE T EXPOSED EDGES OF SLAB RECESS AND AT DOOR OPENING TRANSITIONS.
- FINISHES OF ELECTRICAL, AV, IT, LIFE SAFETY AND OTHER DEVICE COVER PLATES AND ASSOCIATED DEVICES AS FOLLOWS:
- WHITE COVERPLATES AND DEVICES WHERE INSTALLED ON WHITE-PAINTED GYPSUM BOARD, WALLS, AND CEILINGS, AND CERAMIC TILE FINISHES
- HVAC DIFFUSER FINISHES: WHITE UNLESS OTHERWISE INDICATED
- FURF IN PIPING, CONDUITS, AND DUCTS IN ALL ROOMS EXCEPT ELECTRICAL CLOSETS, MECHANICAL ROOMS, AND ROOMS DESIGNATED "OPEN TO STRUCTURE".
- ALL FLOOR MATERIAL CHANGES SHALL OCCUR AT CENTER OF DOOR LEAF.
- CABINETS TO BE AWI CUSTOM GRADE, FULL OVERLAY; PAINT GRADE CABINETS AND BASE, GRANITE COUNTERTOP, PAINTABLE EDGE BANDING, AND WHITE MELAMINE INTERIOR FINISH. INSTALL PER AWI GRADE TO MATCH CASEWORK.
 - BACK PLASTIC LAMINATE SHEETS TO PREVENT WARPAGE OF SUBSTRATE.
 - CASEWORK HARDWARE: BHMA A156.9.
 - HINGES: 135 DEGREES OF OPENING, SOFT-CLOSE
 - DRAWER SLIDES: SIDE MOUNT, SOFT-CLOSE
- INSTALL ADA COMPLIANT TRANSITIONS STRIPS AND THRESHOLDS AS REQUIRED.
- SUPPLY 5% ATTIC STOCK OF ALL FINISH MATERIALS, UNLESS NOTED OTHERWISE.
- PROVIDE 3 COAT PAINT FINISH - 1 PRIMER AND 2 TOP COATS
 - BASIS OF DESIGN: SPEEDHIDE PRO-EV ZERO INTERIOR LATEX
 - FLAT; CEILING
 - EGG-SHELL; VERTICAL SURFACES.
 - SEMI-GLOSS; TRIM

WINDOW SCHEDULE - ONE BED			
TYPE MARK	WIDTH	HEIGHT	COMMENTS
W1	12"	80"	
W2	31"	44.5"	MATCH EXISTING
W3	43.5"	52.5"	MATCH EXISTING
W4	36"	48"	
W5	60"	80"	
W6	36"	60"	
W7	36"	18"	

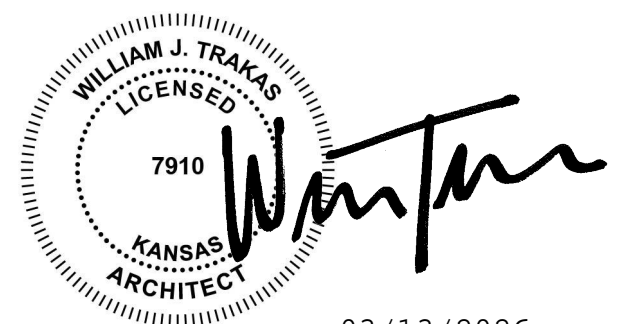
DOOR SCHEDULE - ONE BED							
Mark	Door Type	Door			Frame Type	Hardware Set	Comments
		Width	Height	Thickness			
D30	INT-1	30"	80"	1-3/8"	2	NOTES	
D32	INT-1	32"	80"	1-3/8"	2	NOTES	
P32	INT-1	32"	80"	1-3/8"	4	NOTES	
D36	INT-1	30"	80"	1-3/8"	2	NOTES	
D42	EXT-1	42"	80"	1-3/8"	1	NOTES	
D72	EXT-2	72"	84"	1-3/8"	1	NOTES	



TRAKAS AND TRAKAS ARCHITECT
 1600 GENESSEE ST. STE 837
 KANSAS CITY, MO 64102
 WILLIAM@TRAKASTRAKAS.COM

APEX ENGINEERS, INC. STRUCTURAL
 1625 LOCUST ST.
 KANSAS CITY, MO 64108
 MIKE@APEX-ENGINEERS.COM

TOWNSLEY, TRAVIS OWNER
 TOWNSLEY, JESSICA
 2000 W 71ST ST
 PRAIRIE VILLAGE, S 66208

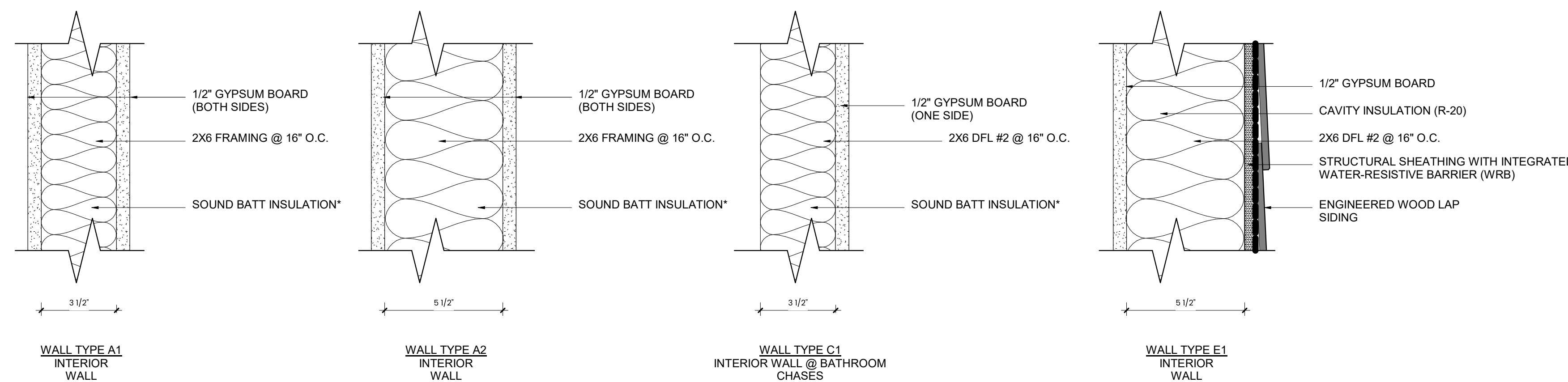


TOWNSLEY RESIDENCE

2000 W 71ST ST
 PRAIRIE VILLAGE, KS 66208

PERMIT DOCUMENTS

REVISION #	DESCRIPTION	DATE
		03/13/2026



***NOTE:**
 1. SOUND BATT INSULATION TO OCCUR AT BATHROOM AND MECH. ROOM WALLS
 2. ALL INTERIOR WALLS A1 UNLESS OTHERWISE NOTED. 1/2" MOISTURE RESISTANT GYPSUM BOARD BATHROOM INTERIORS, WHERE TILE OCCURS, PROVIDE 1/2" CEMENT BOARD IN LIEU OF GYPSUM BOARD.

GENERAL NOTES

A4 PARTITION TYPES
 3" = 1'-0"

SCHEDULES AND DETAILS

A600

NOTES - IRC FOUNDATION

- CONTRACTOR SHALL BE FULLY FAMILIAR WITH IRC CHAPTER 4 FOR USE OF PRESUMPTIVE LOAD-BEARING CAPACITY.
- CONTRACTOR SHALL USE IRC SPECIFICATIONS AND DETAILS FOR PLACEMENT OF PERIMETER DRAINS, UNDER-SLAB DRAINS, AND ANY OTHER SOILS RELATED ITEMS.
- ALL FOUNDATIONS TO BEAR ON ORIGINAL, UNDISTURBED SOIL. REMOVE ANY MUD, ORGANIC SILT, ORGANIC CLAYS, PEAT OR UNPREPARED FILL PRIOR TO PLACING FOUNDATIONS.
- ALL FOOTING EXCAVATIONS TO BE APPROVED BY A QUALIFIED GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE.
- ALL EXTERIOR AND PERIMETER FOOTINGS SHALL EXTEND BELOW FROST DEPTH, REF DESIGN INFORMATION FOR FROST DEPTH.

NOTES - CONCRETE

- ALL CONCRETE CONSTRUCTION TO CONFORM TO ACI "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", THE GOVERNING EDITION OF THE ACI 318, AND ACI "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" ACI 301, UNO.
- WATER REDUCING ADD MIXTURES ARE ALLOWED IN CONCRETE MIX DESIGNS.
- SYNTHETIC MICRO-FIBERS ARE NOT ALLOWED UNLESS SPECIFICALLY NOTED IN THESE DRAWINGS.
- FLY ASH SHOULD NOT BE ALLOWED WITHIN ARCHITECTURALLY EXPOSED CONCRETE WITHOUT ARCHITECT OF RECORDS APPROVAL.
- UNLESS OTHERWISE SHOWN IN THE ARCHITECTURAL DRAWINGS, PROVIDE 3/4" CHAMBERS AT THE EDGES THAT ARE EXPOSED TO VIEW IN THE FINISHED STRUCTURE.
- REF ARCHITECTURAL DRAWINGS FOR DOOR AND WINDOW OPENINGS, DRIP SLOTS, REGLETS, MASONRY, ANCHORS, BRICK LEDGE ELEVATIONS AND FOR MISCELLANEOUS EMBEDDED PLATES, BOLTS, ANCHORS, ANGLES, ETC.
- REF ARCHITECTURAL DRAWINGS FOR CONCRETE FINISHES. WHERE FINISH IS NOT SPECIFIED, CONFORM TO REQUIREMENTS OF ACI 301.
- REF MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR DRAINS, SLEEVES, OUTLET BOXES, CONDUIT, ANCHORS, ETC.
- CONTACT APEX ENGINEERS, INC. IF HOUSE KEEPING PADS OR INERTIA BASES ARE REQUIRED BEYOND WHAT IS SHOWN IN THE STRUCTURAL CONTRACT DOCUMENTS.
- ALL REINFORCING STEEL TO BE DETAILED IN ACCORDANCE WITH ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES."
- REINFORCING SHALL BE CONTINUOUS WHEREVER POSSIBLE. SPLICES AND LAPS TO CONFORM TO ACI 318. REFER TO CONCRETE REBAR SCHEDULE.
- DOWNELS IN FOOTING, WALLS, AND DRILLED PIERS MUST BE IN POSITION BEFORE PLACING CONCRETE WHENEVER POSSIBLE.
- REF TYP FOUNDATION DETAILS FOR INFORMATION ON REINFORCING REQUIREMENTS AT WALL AND SLAB OPENINGS.
- REF TYP FOUNDATION DETAILS FOR INFORMATION ON REINFORCING REQUIREMENTS AT CORNER AND THE INTERSECTIONS.
- PROVIDE VERT CONTROL JOINTS ON ALL POURED CONCRETE WALLS AND BASEMENT WALLS, EXCEPT FOUNDATION STEM WALLS LOCATED IN THE GROUND. SPACE JOINTS AT 3 x WALL HEIGHT FOR WALLS LESS THAN 10'-0" AND WALL HEIGHT FOR TALLER WALLS. PROVIDE ADDITIONAL JOINT WITHIN 10'-0" OF CORNERS.
- OPENINGS IN SLAB OF 1'-4" AND LESS ON A SIDE ARE GENERALLY NOT SHOWN ON THE STRUCTURAL DRAWINGS. REF ARCHITECTURAL AND MECHANICAL DRAWINGS FOR SUCH OPENINGS.

NOTES - HELICAL PIERS

- REFERENCE THE HELICAL PIER PLAN FOR THE DESIGN LOAD AND LOCATION OF ALL PIERS REQUIRED.
- ALL PIERS SHALL BE INSPECTED AND APPROVED BY APPROPRIATE LOCAL JURISDICTION, OR APPROVED GEOTECHNICAL ENGINEER, OR APPROVED 3RD PARTY INSPECTIONS AGENCY, PRIOR TO PLACEMENT OF CONCRETE.
- CONTRACTOR TO COMPLY WITH PIER MANUFACTURER REQUIREMENTS FOR PIER INSTALLATION.
- THE CONTRACTOR SHALL PROVIDE DOCUMENTATION SHOWING INSTALLATION EQUIPMENT USED, PILE DIMENSIONS, PIER CAP PART NUMBER, FINAL DEPTH, FINAL INSTALLATION TORQUE, AND FINAL PIER CAPACITY ACHIEVED.
- NOTED PIER LOADS REPRESENT AN ALLOWABLE LOAD DEMAND. FINAL PIER CAPACITY ACHIEVED (INCLUDING PIER CAP CAPACITY) SHALL MEET OR EXCEED THIS LOAD WITH A MINIMUM SAFETY FACTOR OF 2.

NOTES - BASEMENT

- FOUNDATION WALLS SHALL BE BACKFILLED WITH A CLEAN LEAN CLAY (OR BETTER) LOW VOLUME CHANGE MATERIAL. ON-SITE MATERIAL MAY BE USED IF DEEMED ACCEPTABLE BY THE GEOTECHNICAL ENGINEER OF RECORD.
- FOUNDATION WALLS WILL NOT ACHIEVE FULL STRENGTH UNTIL THE BASEMENT SLAB AND THE FIRST FLOOR DECK HAVE BEEN PROPERLY PLACED. BACKFILLING THE INTERIOR OF THE FOUNDATION WALL WITH GREATER THAN 8" OF EARTHEN FILL OR 24" OF GRANULAR FILL. A STRUCTURAL BASEMENT SLAB, OR ALTERNATE ENGINEERED SOLUTION (i.e. ENGINEERED FILL) WILL BE REQUIRED.
- WHERE JUMPS OR STEPS IN ELEVATION OCCUR FOUNDATION WALLS AND FOOTINGS SHALL BE FORMED CONTINUOUS AND POURED PER DETAILS WITHIN THIS DRAWING SET.
- CONCRETE FLOOR SLABS SHALL BE A MINIMUM 4" THICK OVER A MINIMUM 4" BASE OF 1/2" OR 3/4" CLEAN GRADED ROCK, UNLESS NOTED OTHERWISE OR IF SITE CONDITIONS REQUIRE OTHERWISE.
- PROVIDE A MIN 6 MIL THICK POLYETHYLENE MOISTURE BARRIER OVER POUROUS GRAVEL BASE UNDER BASEMENT FLOOR SLAB PER RA05.2.2. LAP JOINTS MINIMUM 6" (NOT REQUIRED FOR GARAGE SLABS OR DETACHED ACCESSORY BUILDINGS).
- GARAGE SLABS AND BASEMENT OVERDIGS SUPPORTED BY FILL CONSISTING OF MORE THAN 24" OF GRANULAR FILL OR 8" OF EARTH SHALL BE REINFORCED PER DETAILS WITHIN THIS DRAWING SET. WHERE THE LIMITATIONS OF THESE DETAILS ARE NOT MET, A SEPARATE ENGINEERED DESIGN SHALL BE REQUIRED.
- BASEMENT FOUNDATION SILL PLATES SHALL BE BOLTED TO THE FOUNDATION WITH A MINIMUM OF 1/2" ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO THE CONCRETE AND SPACED NOT MORE THAN 3'-0" ON CENTER AND WITHIN 12" OF EACH END PIECE.
- FOUNDATION WALLS SHALL BE DAMP-PROOFED PER IRC SECTION R406.
- PROVIDE A MINIMUM 4" PERFORATED DRAIN AROUND USABLE SPACE BELOW GRADE OR OTHER EQUIVALENT MATERIALS PER IRC SECTION A05.1. THE PIPE SHALL BE PLACED ON A MINIMUM OF 7" OF WASHED GRAVEL OR CRUSHED ROCK AND COVERED WITH NOT LESS THAN 6". THE DRAIN SHALL DAYLIGHT TO THE EXTERIOR BELOW THE FLOOR LEVEL OR TERMINATE IN A MINIMUM 24" DIAMETER OR 20" SQUARE SUMP PIT EXTENDING A MINIMUM 24" BELOW THE BOTTOM OF BASEMENT FLOOR.
- INTERIOR BEARING WALLS AND COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB.
- INTERIOR NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM FLOOR FRAMING ABOVE.
- ALL EARTH RETAINING STRUCTURES ON THE SITE GREATER THAN 4'-0" TALL (EXCLUDING CONCRETE FOUNDATION WALLS RESTRAINED AT BOTH TOP AND BOTTOM) SHALL REQUIRE A SEPARATE ENGINEERED DESIGN (i.e. RETAINING WALLS, WING WALLS, ETC.).
- ANY GEOTECHNICAL IMPROVEMENT METHODS AND/OR STRUCTURAL SOLUTIONS (SUCH AS DRILLED PIERS) EMPLOYED TO ADDRESS UNACCEPTABLE SUBGRADE CONDITIONS SHALL BE SUBMITTED TO EOR AS ENGINEERED SHOP DRAWINGS FOR REVIEW AND APPROVAL.

NOTES - GENERAL

- THESE DRAWINGS ARE INTENDED TO BE USED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING SUCH REQUIREMENTS INTO THEIR SHOP DRAWINGS AND WORK.
- NO OPENING SHALL BE MADE IN ANY STRUCTURAL MEMBER WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
- NO CHANGE IN SIZE OR DIMENSION OF STRUCTURAL MEMBERS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.
- THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES.
- FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL LOWER AND UPPER SLABS ARE IN PLACE AND REACH FULL STRENGTH UNLESS ADEQUATE BRACING IS PROVIDED. USE ONLY HAND-OPERATED TOOLS FOR COMPACTION ADJACENT TO FOUNDATION WALLS AND FOOTINGS. FOOTINGS SHALL BE BACKFILLED EVENLY ON BOTH SIDES.
- UNLESS OTHERWISE NOTED, FIREPROOFING METHODS AND MATERIALS FOR STRUCTURAL MEMBERS ARE NOT SHOWN ON STRUCTURAL DRAWINGS. REFERENCE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR FIRE RATING REQUIREMENTS, FIRE PROOFING METHODS AND MATERIALS.
- DO NOT SCALE THESE DRAWINGS. USE DIMENSIONS SHOWN ON PLANS.
- THE CONTRACTOR SHALL INFORM THE ARCHITECT/ENGINEER OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY FOR SUCH DEVIATION BY THE ARCHITECT/ENGINEER'S APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, ETC. UNLESS HE HAS SPECIFICALLY INFORMED THE ARCHITECT/ENGINEER OF SUCH DEVIATION AT THE TIME OF SUBMISSION, AND THE ARCHITECT/ENGINEER HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
- ALL THINGS WHICH, IN THE OPINION OF THE CONTRACTOR, APPEAR TO BE DEFICIENCIES, OMISSIONS, CONTRADICTIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. PLANS AND/OR SPECIFICATIONS WILL BE CORRECTED, OR WRITTEN INTERPRETATION OF THE ALLEGED DEFICIENCY, OMISSION, CONTRADICTION OR AMBIGUITY WILL BE MADE BY THE ARCHITECT/ENGINEER BEFORE THE AFFECTED WORK PROCEEDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ERRORS OF DETAILING, FABRICATION AND INSTALLATION. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS IN THE FIELD NECESSARY TO VERIFY OR SUPPLEMENT DIMENSIONS SHOWN ON THE CONTRACT DRAWINGS AND HE SHALL VERIFY THAT ALL DIMENSIONS SHOWN ON THE DRAWINGS ARE COORDINATED WITH THE DIMENSIONS AND REQUIREMENTS OF THE CONTRACT DOCUMENTS. REVIEW OF THE SHOP DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR COMPLETING THE WORK SUCCESSFULLY IN ACCORDANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- SUBMIT PRINTS OR ELECTRONIC COPIES OF EACH SHOP DRAWING. REPRODUCIBLE COPIES OF CONTRACT DOCUMENTS SHALL NOT BE USED AS SHOP DRAWINGS. SHOP DRAWINGS SHALL BE REVIEWED BY CONTRACTOR PRIOR TO SUBMISSION. CONTRACTOR STAMP SHOP DRAWINGS ACCEPTING RESPONSIBILITY FOR COORDINATION OF DIMENSIONS SHOWN IN THE CONTRACT DOCUMENTS. QUANTITIES AND COORDINATION WITH OTHER TRADES, DRAWINGS NOT BEARING CONTRACTOR'S STAMP MAY BE REJECTED AT THE DISCRETION OF THE ARCHITECT OR STRUCTURAL ENGINEER.
- REVIEW AND RETURN OF SHOP DRAWINGS SHALL BE BASED ON A MINIMUM OF TEN (10) WORKING DAYS IN THE STRUCTURAL ENGINEER'S OFFICE FROM RECEIPT OF SUBMISSION TO RETURN TO THE NEXT PARTY FOR THEIR ACTION. SHOP DRAWINGS SHOULD BE SUBMITTED INCREMENTALLY AS APPROPRIATE PACKAGES ARE PREPARED TO EQUALIZE THE WORKLOAD FOR REVIEW OF THE DRAWINGS. SUBMISSION OF A LARGE VOLUME OF SHOP DRAWINGS AT ONE TIME MAY RESULT IN REVIEW TIMES WHICH WILL EXCEED THOSE NOTED ABOVE. DEFINITION OF A "LARGE VOLUME" OF SHOP DRAWINGS IS SUBJECT TO INTERPRETATION.

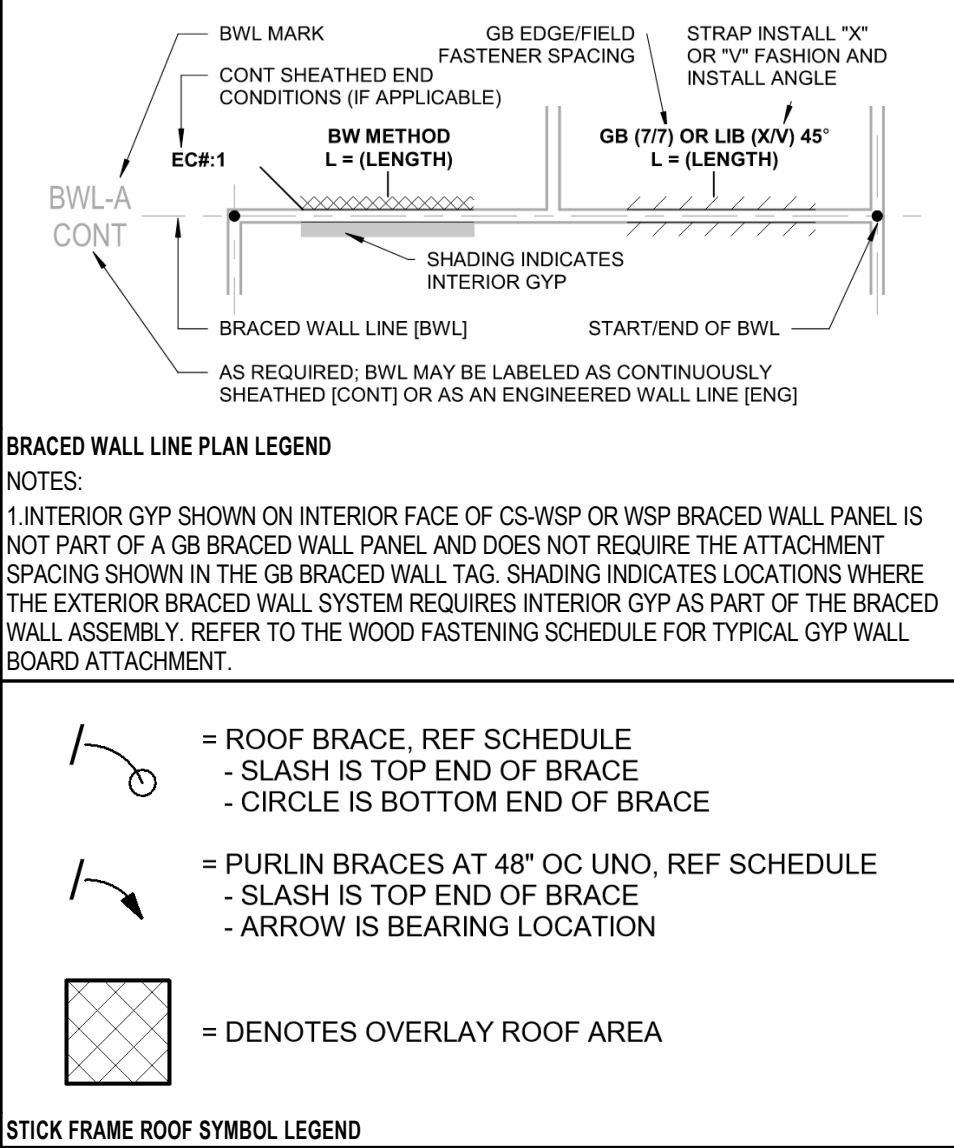
NOTES - DEFERRED SUBMITTALS

- THE ARCHITECT OR ENGINEER OF RECORD SHALL LIST THE DEFERRED SUBMITTALS ON THE PLANS FOR REVIEW BY THE BUILDING OFFICIAL.
- DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN THE GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING.
- THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
- DEFERRED SUBMITTALS ARE DEFINED AS THOSE PORTIONS OF THE DESIGN THAT ARE NOT SUBMITTED AT THE TIME OF THE APPLICATION AND THAT ARE TO BE SUBMITTED TO THE BUILDING OFFICIAL WITHIN A SPECIFIED PERIOD.
- DEFERRAL OF ANY SUBMITTAL ITEMS SHALL HAVE THE PRIOR APPROVAL OF THE BUILDING OFFICIAL.
- SUBMITTALS SHALL INCLUDE DETAILED DRAWINGS OF EACH MEMBER AND ITS CONNECTIONS ALONG WITH SUPPORTING CALCULATIONS PREPARED UNDER THE SUPERVISION, BEARING THE SEAL AND SIGNATURE, OF A LICENSED PROFESSIONAL ENGINEER IN THE PROJECT JURISDICTION.
- CONTRACTOR SHALL SUBMIT STRUCTURAL DEFERRED SUBMITTAL FOR THE FOLLOWING:
 - GUARDRAILS AND HANDRAILS
 - STEEL FABRICATED STAIRS AND LADDERS
 - GROUND IMPROVEMENT SOLUTIONS, SUCH AS RAPs, WSCs, HELICAL PIERS, ETC

NOTES - SHOP DRAWING SUBMITTALS

- SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL STRUCTURAL ITEMS IN ADDITION TO ITEMS REQUIRED BY ARCHITECTURAL SPECIFICATIONS. SHOP DRAWING REVIEW IS INTENDED FOR VERIFICATION OF DESIGN CONCEPT CONVEYANCE AND GENERAL CONFORMANCE TO CONTRACT DOCUMENTS ONLY.
- CHANGES, SUBSTITUTIONS, OR DEVIATIONS FROM CONTRACT DOCUMENTS SHALL BE CLOUDED BY MFR/FABRICATOR. ANY OF THE AFOREMENTIONED WHICH ARE NOT CLOUDED OR FLAGGED BY SUBMITTING PARTIES SHALL NOT BE CONSIDERED APPROVED AFTER ENGINEER'S REVIEW, UNO.
- SHOP DRAWINGS DO NOT REPLACE THE CONTRACT DOCUMENTS. ITEMS SHOWN INCORRECTLY OR OMITTED AND NOT FLAGGED BY THE ENGINEER DURING REVIEW ARE NOT TO BE CONSIDERED CHANGES TO THE CONTRACT DOCUMENTS.
- THE ADEQUACY OF ENGINEERING DESIGNS AND LAYOUT PERFORMED BY OTHERS RESTS WITH THE DESIGNING OR SUBMITTING AUTHORITY. DESIGNED SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
- SHOP DRAWINGS MUST BE ORIGINAL DOCUMENTS. REPRODUCTION OF ANY PORTION OF THE CONTRACT DOCUMENTS FOR USE IN SUBMITTALS IS NOT PERMITTED AND MAY RESULT IN REJECTION.
- THE ENGINEER HAS THE RIGHT TO APPROVE OR DISAPPROVE ANY CHANGES TO CONTRACT DOCUMENTS AT ANY TIME BEFORE OR AFTER SHOP DRAWING REVIEW.
- CONTRACTOR SHALL SUBMIT STRUCTURAL SHOP DRAWINGS FOR THE FOLLOWING:
 - STRUCTURAL STEEL FRAMING
 - ROUGH CARPENTRY HARDWARE, AND FASTENERS
 - ENGINEERED WOOD FRAMING

PLAN LEGENDS



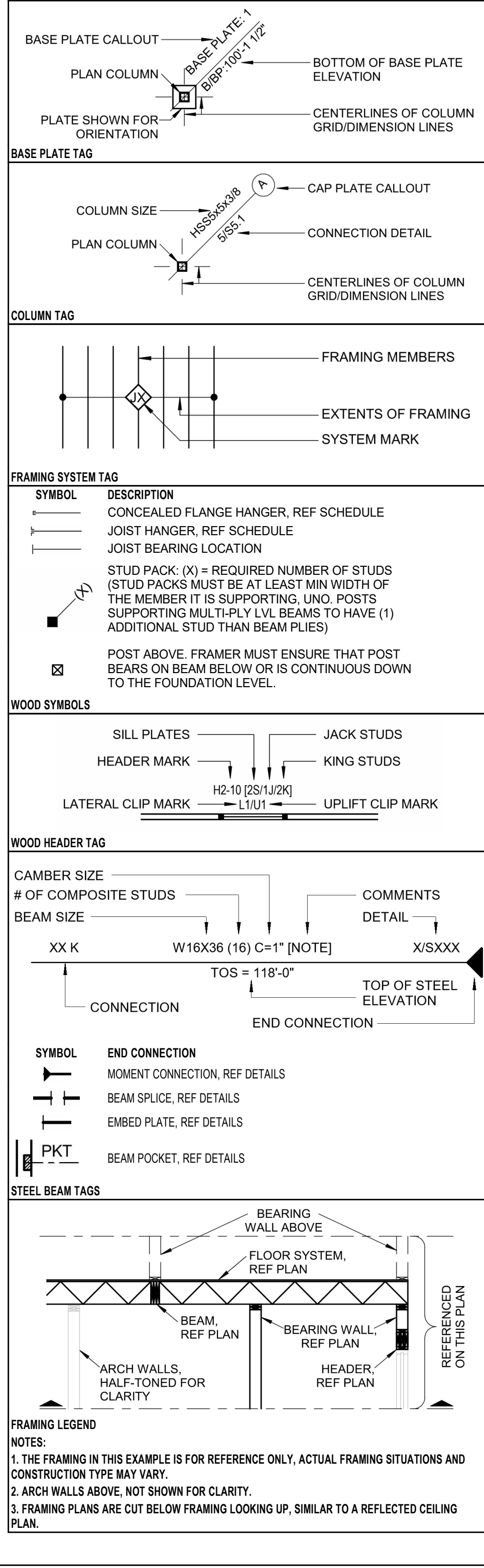
MATERIAL SPECIFICATIONS

CONCRETE & REINFORCING STEEL SPECIFICATIONS						
MATERIAL	SPECIFICATION					
REINFORCING BARS #4 AND SMALLER	ASTM A615, GRADE 40					
REINFORCING BARS #5 AND LARGER 60	ASTM A615, GRADE 60					
WELDED REBAR	ASTM A706, USE E80 ELECTRODE					
WELDED WIRE FABRIC	ASTM A1064					
STEEL RAIL ASSEMBLIES	ASTM A1034					
PORTLAND (LIMESTONE) CEMENT	ASTM C150 / ASTM C595					
FLY ASH	ASTM C918, 20% MAX					
CONCRETE AGGREGATES	ASTM C33					
EPOXY - THREADED ROD ANCHORS	HILTI HIT-HY 200 V3 A OR SIMPSON SET 3G					
EPOXY - REINFORCING BARS	HILTI HIT-HY 200 V3 R OR SIMPSON SET 3G					
POWDER-ACTUATED FASTENERS	HILTI 0.157" DIA X J OR SIMPSON 0.157" DIA POPA WITH 1" PENETRATION					
REBAR CONDITIONS	MINIMUM CONCRETE COVER					
FORMED SURFACES EXPOSED TO GROUND OR WEATHER	2"					
UNFORMED SURFACE IN CONTACT WITH GROUND	3"					
WALLS AND SLABS NOT EXPOSED TO GROUND OR WEATHER	1"					
INTERIOR BEAMS AND COLUMNS (TO TIES OR STIRRUPS)	1 1/2"					
CONCRETE MAX AGGREGATE SIZE						
CONCRETE WALLS, CONCRETE COLUMNS AND ELEVATED SLABS	3/4"					
FOUNDATION ELEMENTS AND SLABS ON GRADE	1"					
CONCRETE MIX DESIGNS						
NOTES:						
1. NTR = NO TYPE RESTRICTION						
CONCRETE USE	WEIGHT	28 DAY Fc	CEMENT TYPE	MAX W/C	SLUMP (+/-1")	%AIR
FOOTINGS	NW	3500 psi	NTR	0.50	5"	7.5% MAX
FOUNDAN WALLS	NW	3500 psi	NTR	0.50	4"	6% +/- 1.5%
INT SLAB ON GRADE	NW	4000 psi	NTR	0.45	5"	3% MAX
SHALLOW PIERS	NW	3500 psi	NTR	0.50	4"	6% +/- 1.5%
CONCRETE SLAB SPECIFICATIONS						
FLATNESS CRITERIA	SPECIFICATION					
FLOOR FLATNESS, FF	SOV: 35 MLV: 25					
FLOOR LEVELNESS, FL	SOV: 24 MLV: 17					
STEEL MATERIAL SPECIFICATIONS						
MATERIAL	SPECIFICATION					
WIDE FLANGE SHAPES (W)	ASTM A992					
CHANNELS (C), ANGLES (L)	ASTM A36					
HOLLOW STRUCTURAL SHAPES (HSS)	ASTM A500, GRADE C					
PIPE COLUMNS	ASTM A53, GRADE B					
PLATES, BARS	ASTM A36					
HIGH STRENGTH BOLTS	ASTM F3125, GRADE A325					
ANCHOR BOLTS (HEX-HEAD UNO)	ASTM F1554 (65 KSI) "S1"					
EPOXY ANCHOR RODS	ASTM F1554, GRADE A36					
NON-SHRINK GROUT, COLUMN BASES	5000 PSI (28 DAY STRENGTH)					
WELD ELECTRODE, UNO	E70 ELECTRODE					
WELD ELECTRODE - WELDABLE REBAR	E80 ELECTRODE					
WOOD MATERIAL SPECIFICATIONS						
MATERIAL	SPECIFICATION					
JOISTS, RAFTER, HEADERS, BEAMS	No. 2 DFL					
TREATED LUMBER	No. 2 SP					
STUDS, BEARING WALL	REF PLAN / SCHEDULE					
SILL AND TOP PLATES	REF PLAN / SCHEDULE					
HEAVY TIMBERS	No. 1 DFL					
GLULAM BEAMS - SINGLE SPAN	DF/DF 24F-V4					
GLULAM BEAMS - MULTI SPAN	DF/DF 24F-V8					
GLULAM COLUMNS	DF COMB #2					
LAMINATED VENEER LUMBER, LVL	Fb = 2600 psi, E = 2.0 x 10 ⁶ psi					
LAMINATED STRAND LUMBER, LSL	Fb = 1700 psi, E = 1.3 x 10 ⁶ psi					
PARALLEL STRAND LUMBER, PSL	Fb = 2500 psi, E = 1.8 x 10 ⁶ psi					
BOLTS AND THREADED RODS	ASTM A307 (MIN.)					
POWDER-ACTUATED FASTENERS	SIMPSON 0.157" DIA POPAWL					
FRAMING NAIL SPECIFICATIONS						
COMMON NAIL			BOX NAIL			
SIZE	DIAMETER	LENGTH	DIAMETER	LENGTH		
6d	0.113"	2"	0.095"	2"		
8d	0.131"	2 1/2"	0.113"	2 1/2"		
10d	0.148"	3"	0.128"	3"		
16d	0.162"	3 1/2"	0.135"	3 1/2"		
20d	0.192"	4"	0.148"	4"		
40d	0.225"	5"	0.162"	5"		

SHEET LIST - STRUCTURAL

SHEET NUMBER	SHEET NAME
S100	GENERAL NOTES AND SPECIFICATIONS
S101	GENERAL NOTES AND SPECIFICATIONS
S110	SCHEDULES
S200	FOUNDATION PLAN
S210	FIRST FLOOR FRAMING PLAN
S211	FIRST FLOOR SHEAR WALL PLAN
S212	SECOND FLOOR FRAMING PLAN
S213	SECOND FLOOR SHEAR WALL PLAN
S214	SECOND FLOOR CEILING FRAMING PLAN
S220	ROOF FRAMING PLAN
S500	FOUNDATION DETAILS
S501	FOUNDATION DETAILS
S510	STEEL FRAMING DETAILS
S520	IRC TYPICAL WOOD DETAILS
S521	IRC TYPICAL WOOD DETAILS
S522	WOOD FRAMING DETAILS
S523	WOOD FRAMING DETAILS
S524	IRC TYPICAL WOOD DETAILS
S530	WOOD ROOF FRAMING DETAILS

PLAN LEGENDS



DESIGN INFORMATION

BUILDING CODE		
2018 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED AND/OR AMENDED BY LOCAL BUILDING CODES		
SOILS INFORMATION		
THE FOUNDATION DESIGN PROVIDED IS BASED OFF OF A MINIMUM ALLOWABLE PRESUMPTIVE LOAD-BEARING VALUE AS INDICATED BY IRC TABLE R401.4.1 IN LIEU OF A SITE BASE GEOTECHNICAL EVALUATION. IT IS RECOMMENDED THAT A QUALIFIED GEOTECHNICAL ENGINEER BE RETAINED TO VERIFY THESE ASSUMPTIONS PRIOR TO CONSTRUCTION. BY USE OF THIS FOUNDATION DESIGN WITHOUT PROVIDING SUCH VERIFICATION, APEX WILL NOT BE LIABLE FOR THIS DESIGN PARAMETER, AND THE OWNER SHALL ACCEPT ALL RISKS ASSOCIATED WITH DAMAGE TO THE STRUCTURE AS A RESULT OF EXPANSIVE, COMPRESSIBLE, SHIFTING AND/OR DIFFERENTIAL MOVEMENT AS A RESULT OF DIFFERING SUBGRADE CONDITIONS BETWEEN EXISTING AND NEW FOUNDATION ELEMENTS.		
FROST DEPTH	36"	
PRESUMPTIVE LOAD-BEARING PRESSURE	1500 psf	
LATERAL EARTH - ACTIVE PRESSURE	40 psf	
LATERAL EARTH - AT-REST PRESSURE	60 psf	
LATERAL EARTH - PASSIVE PRESSURE	200 psf	
LATERAL EARTH - SLIDING RESISTANCE: COEFFICIENT OF FRICTION	0.35	
WIND DESIGN DATA		
OCCUPANCY CATEGORY	II	
EXPOSURE CATEGORY	B	
ULTIMATE WIND SPEED (3 SECOND GUST), V	115 mph	
VELOCITY PRESSURE, qz	17.1 psf	
INTERNAL PRESSURE COEFFICIENT, Gcpi	+/- 0.18	
EDGE REGION, a	3'-0"	
ROOF SNOW LOAD DATA		
GROUND SNOW LOAD, Ps	20 psf	
IMPORTANCE FACTOR, I	1.00	
EXPOSURE FACTOR, Ce	1.00	
THERMAL FACTOR, Ct	1.10	
FLAT ROOF SNOW LOAD, Pf	15 psf	
SLOPE FACTOR, Cs	1.00	
SLOPED ROOF SNOW LOAD, Ps	15 psf	
MINIMUM SNOW LOAD, Pm	N/A	
IRC GRAVITY LOAD DATA		
OCCUPANCY OR USE	LOADS	
	UNIFORM	POINT
FLOOR DEAD LOADS		
+ TYPICAL FLOOR	15 psf	N/A
FLOOR LIVE LOADS		
+ HABITABLE ATTICS AND SLEEPING AREAS	30 psf	N/A
+ UNINHABITABLE ATTICS WITHOUT STORAGE	10 psf	N/A
+ RESIDENTIAL FLOOR	40 psf	N/A
+ PASSENGER VEHICLE GARAGES	50 psf	2000 lbs
ROOF DEAD LOADS		
+ TYPICAL ROOF (DESIGNED FOR LIGHT ROOF COVERING)	10 psf	N/A
ROOF LIVE LOADS		
+ ROOF AREAS NOT INTENDED FOR OCCUPANCY	20 psf	N/A

SYMBOLS & ABBREVIATIONS

ABV	DEFINITION	ABV	DEFINITION
ADJ	ADJUSTABLE	LLV	LONG LEG VERTICAL
ARCH	ARCHITECT	LONG	LONGITUDINAL
BO	BOTTOM OF	MECH	MECHANICAL
BOF	BOTTOM OF FOOTING	MEP	MECH. ELECTRICAL, PLUMBING
BOS	BOTTOM OF STEEL	MFR	MANUFACTURER
BOT [B]	BOTTOM	NA	NOT APPLICABLE
BOW	BOTTOM OF WALL	NS	NEAR SIDE
BRG	BEARING	NIS	NOT TO SCALE
CTR [C]	CENTER	OC	ON CENTER
CGS	CENTER OF GRAVITY STRAND	OPP	OPPOSITE
CIP	CAST-IN-PLACE	PAF	POWDER ACTUATED FASTENER
CJ	CONTRACTION/CONTROL JOINT	PARL	PARALLEL
CL	CENTERLINE	PERP	PERPENDICULAR
CLR	CLEAR	PI	POST-INSTALLED
COL	COLUMN	PKT	BEAM POCKET
CONT	CONTINUOUS	PT	POST-TENSION
DIA	DIAMETER	RAD	RADIUS
DT	DRAG TRUSS	REF	REFERENCE
EA	EACH	RTU	ROOF TOP UNIT
EL	ELEVATION	SIM	SIMILAR
EOD	EDGE OF DECK	SOG	SLAB ON GRADE
EOR	ENGINEER OF RECORD	STD	STANDARD
EOS	EDGE OF STEEL	[T]	TOP
EQ	EQUAL	T&B	TOP AND BOTTOM
EW	EACH WAY	TO	TOP OF
[E]	EXISTING	TOC	TOP OF CONCRETE
EXT	EXTERIOR	TOP	TOP OF DECK
FS	FAR SIDE	TOP	TOP OF FOOTING
FRT	FIRE RETARDANT TREATED	TOL	TOP OF LEDGE
FV	FIELD VERIFY	TOM	TOP OF MASONRY
GA	GAUGE	TOS	TOP OF STEEL
GC	GENERAL CONTRACTOR	T	

J
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F
E
D
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A

1 2 3 4 5 6 7 8 9 10 11 12 13 14

NOTES - STEEL

1. ALL STRUCTURAL STEEL TO BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE FOLLOWING: "AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES."
2. BOLTED CONNECTIONS: ALL BOLTED CONNECTIONS SHALL BE SNUG-TIGHT IN ACCORDANCE WITH THE "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM F3125 GRADE A325 OR A490 BOLTS" PUBLISHED BY THE RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS.
3. WELDED CONNECTIONS: ALL WELDING SHALL BE IN ACCORDANCE WITH THE "STRUCTURAL WELDING SOCIETY CODE" (AWS D1.1) PUBLISHED BY THE AMERICAN WELDING SOCIETY. ELECTRODES FOR WELDING SHALL COMPLY WITH THE REQUIREMENTS OF TABLE 3.1 OF AWS D1.1. ALL WELDING TO BE DONE BY QUALIFIED WELDERS CONFORMING TO THE AMERICAN WELDING SOCIETY STANDARDS.
4. SPACING OF STEEL MEMBERS, UNLESS SHOWN ON THE DRAWINGS, IS PROHIBITED WITHOUT THE WRITTEN APPROVAL OF APEX ENGINEERS, INC.
5. CHANGES IN SIZE OR POSITION OF THE STRUCTURAL ELEMENTS, AND HOLES, SLOTS, CUTS, ETC. THROUGH ANY MEMBER, ARE NOT PERMITTED UNLESS THEY ARE DETAILED ON THE APPROVED SHOP DRAWINGS.
6. NO FINAL BOLTING OR WELDING SHALL BE MADE UNTIL AS MUCH OF THE STRUCTURE AS WILL BE STIFFENED THEREBY HAS BEEN PROPERLY ALIGNED.
7. FABRICATE ALL BEAMS WITH THE MILL CAMBER UP UNO.
8. ALL VISIBLE WELDED CONNECTIONS ON ARCHITECTURAL ELEMENTS TO BE GROUND SMOOTH. DO NOT REDUCE THROAT SIZE OF WELD.
9. THE FABRICATOR SHALL BE RESPONSIBLE FOR THE DESIGN AND PERFORMANCE OF ALL CONNECTIONS NOT FULLY DESIGNED OR DETAILED IN THE CONTRACT DOCUMENTS. FABRICATOR TO PROVIDE ENGINEERED STAMPED SHOP DRAWINGS AND CALCULATIONS FOR ALL CONNECTIONS THAT DO NOT COMPLY WITH AISC STEEL CONSTRUCTION MANUAL CHAPTER 10 SIMPLE SHEAR CONNECTIONS.
10. STEEL MEMBERS ON THE EXT OF THE BUILDING OR EXPOSED TO SOIL MUST BE, AT A MIN, PROPERLY PRIMED WITH RUST INHIBITING PRIMER AND PAINTED. STEEL MEMBERS COMPLETELY ENCLOSED IN BUILDING ENVELOPE DO NOT REQUIRE PRIMER OR PAINT, UNO. REF ARCHITECTURAL DOCUMENTS FOR ADDITIONAL REQUIREMENTS OF EXPOSED STEEL.

NOTES - ROUGH CARPENTRY

1. CONTRACTOR IS RESPONSIBLE TO ADEQUATELY SHORE AND BRACE ALL FLOOR AND ROOF FRAMING AND WALLS DURING CONSTRUCTION.
2. NAILING: SHALL BE PER FASTENING SCHEDULE OF THE INTERNATIONAL BUILDING CODE. FOR PREFABRICATED CONNECTORS USE ALL FASTENERS AS PRESCRIBED BY THE MANUFACTURER.
3. ALL POST AND JAMBS ARE TO BE BLOCKED SOLID WITH THE SAME NUMBER OF PIECES AS THE POST OR JAMB WITHIN THE FLOOR SPACE AND CONTINUOUS TO THE FOUNDATION LEVEL. BLOCKING IS TO ALIGN WITH POST OR JAMBS.
4. SPECIES AND GRADES SHOWN IN SCHEDULE ARE THE MINIMUM ACCEPTABLE. BETTER GRADES MAY BE SUBSTITUTED.
5. PRESSURE TREATED WOOD TO BE USED WHEN EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE OR MASONRY.
6. WOOD STRUCTURAL PANELS TO BE APA RATED AND EXPOSURE 1. PANELS TO BE MANUFACTURED PER US DEPARTMENT OF COMMERCE PRODUCT STANDARDS PS1 OR PS2.
7. ANY FASTENERS OR CONNECTORS TO AND THROUGH TREATED WOOD SHALL BE FASTENED WITH ASTM A153 CLASS D HOT DIP GALVANIZED OR STAINLESS STEEL FASTENERS.
8. WOOD FRAMING WILL HAVE SHRINKAGE. THE CONTRACTOR SHALL COORDINATE REQUIREMENTS TO ACCOMMODATE SHRINKAGE WITH OTHER TRADES.
9. BORED HOLES FOR HORIZONTAL PLUMBING PIPING SHALL BE PROVIDED WITH FLEXIBLE JOINTS TO PERMIT MOVEMENT.
10. RIGID ELECTRICAL CONDUIT INSTALLED VERTICALLY SHALL BE PROVIDED WITH FLEXIBLE JOINTS TO PERMIT MOVEMENT.
11. ALL DIMENSIONAL LUMBER SHALL BE GRADE STAMPED WITH MOISTURE CONTENT NOT TO EXCEED 19%.
12. INCISED STRUCTURAL LUMBER NOT PERMITTED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
13. DIMENSIONAL LUMBER SIZES SHOWN ON PLANS ARE NOMINAL DIMENSIONS. DRESSED SIZES PUBLISHED IN THE LATEST EDITION OF AMERICAN SOFTWOOD LUMBER PS20 SHALL BE ACCEPTED AS MINIMUM NET SIZES CONFORMING TO SUCH NOMINAL SIZES.
14. WOOD HEADERS SHALL HAVE A FULL 3" LENGTH OF BEARING AT EACH END UNO.
15. ALL BEAMS AND JOISTS NOT BEARING ON SUPPORTING MEMBERS SHALL BE FRAMED WITH PREFABRICATED METAL JOIST HANGERS FOR REQUIRED CAPACITY. ALL PREFABRICATED METAL HARDWARE IS BY SIMPSON STRONG-TIE COMPANY OR APPROVED EQUIVALENT. CONNECTIONS IN CONTACT WITH PRESSURE TREATED WOOD SHALL HAVE G185 GALVANIZED COATING PER ASTM A653 AND HOT DIPPED GALVANIZED FASTENERS PER ASTM A153. ALTERNATE CORROSION RESISTANT CONNECTIONS IN ACCORDANCE WITH IBC WILL BE CONSIDERED. PRIOR WRITTEN APPROVAL BY THE STRUCTURAL EOR IS REQUIRED.
16. WALL, FLOOR, AND ROOF SHEATHING NAILS SHALL HAVE FULL HEADS. CLIPPED NAILS ARE NOT ALLOWED IN THESE APPLICATIONS.
17. NAIL TYPE USED IN WALL, FLOOR, AND ROOF WSP SHEATHING SHALL BE COMMON OR GALVANIZED BOX NAILS. SINKER NAILS, COOLER NAILS, ETC ARE NOT PERMITTED IN THESE APPLICATIONS.
18. ALL SIDE LOADED LVL BEAMS TO BE FASTENED TOGETHER PER MFR REQUIREMENTS.
19. ALL MULTI-PLY BEAMS TO BE SUPPORTED BY STUD PACK WITH (1) ADDITIONAL STUD THAN BEAM PLYS.
20. ALL STRAPS SHALL HAVE NAILS INSTALLED IN EVERY HOLE UNLESS NOTED OTHERWISE.

NOTES - WOOD SHRINKAGE

APEX ENGINEERS INC. SHALL NOT BE HELD LIABLE FOR THE NATURALLY OCCURRING SHRINKAGE THAT WILL OCCUR IN A WOOD STRUCTURE. SHRINKAGE MOVEMENT WILL IMPACT ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS THAT ARE DESIGNED BY OTHERS. THE CONTRACTOR SHALL ENSURE THE PROJECTED MOVEMENT IS ADEQUATELY ALLOWED SUCH THAT FOREGOING SYSTEMS ARE NOT ADVERSELY AFFECTED. FAILURE TO FOLLOW THE CONSIDERATIONS BELOW CAN RESULT IN FAILURE ON THE IMPACTED COMPONENTS WITHIN THE SYSTEM.

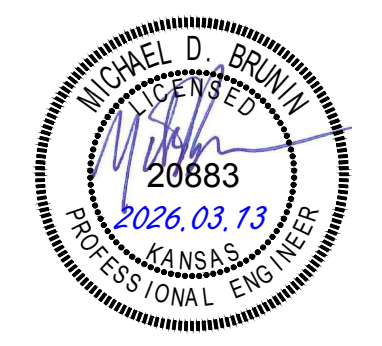
1. **MEP SYSTEM CONSIDERATIONS**
 - A. POSTPONE MEP INSTALLATION AS LONG AS POSSIBLE TO ALLOW AS MUCH STRUCTURE SELF WEIGHT (DEAD LOAD) TO BE APPLIED, ALLOWING CONSTRUCTION GAPS TO CLOSE.
 - B. PROVIDE OVERSIZED & VERTICALLY SLOTTED HOLES AT PIPE HORIZ PENETRATION & NOTCHES. REF TYP NOTCHING & CUTTING OF STUD WALL DETAIL FOR ADDITIONAL CONSIDERATIONS ON SIZE LIMITATIONS.
 - C. PIPE FITTINGS SHALL BE LOCATED SUCH THAT THEY DO NOT OCCUR WITHIN THE HOLES SLOTTED IN STUDS.
 - D. ALL PLUMBING PIPE & ELECTRICAL CONDUIT JOINTS & CONNECTIONS SHALL BE FLEXIBLE & ALLOW FOR EXPANSION/CONTRACTION TO PREVENT A RIGID ASSEMBLY.
 - E. HANGERS & NECESSARY RIGID CONNECTIONS SHALL BE ADJUSTED PRIOR TO COMPLETION OF CONSTRUCTION OR CLOSING OF WALL/CEILING ASSEMBLY.
 - F. VENT PENETRATIONS SHALL BE PROVIDED WITH DOUBLE FLASHING.
 - G. ALL SHEET METAL VERT DOWN SPOUTS SHALL HAVE INTERMEDIATE SLIP JOINTS.
 - H. ROOF DRAINS SHALL BE ADJUSTED BACK TO THE ROOF FINISH SHEATHING ELEVATION AT THE COMPLETION OF CONSTRUCTION & THEN SHALL BE ADJUSTED AS REQUIRED TO MAINTAIN PROPER DRAINAGE.
2. **ARCHITECTURAL SYSTEM CONSIDERATIONS**
 - A. AT STUCCO, EIFS & THIN SET VENEER SYSTEMS PROVIDE HORIZONTAL EXPANSION JOINTS, SLIP JOINTS WITH APPROPRIATE FLASHING. THIS INCLUDES TRANSITIONS BETWEEN CHANGES IN VENEER MATERIAL.
 - B. AT BRICK & STONE VENEERS PROVIDE VENEER TIES DESIGNED TO ACCOMMODATE DIFFERENTIAL MOVEMENT.
 - C. REF ARCHITECTURAL WINDOW & DOOR HEAD & SILL, PARAPET, & HORIZONTAL MATERIAL CHANGES FOR SPECIFIC HORIZ GAP REQUIREMENTS BETWEEN MOVEMENTS.
 - D. AROUND RIGID STAIR AND ELEVATOR ELEMENTS (CONCRETE/CMU) AND AT FIRE SEPARATION WALLS, PROVIDE ADJUSTABLE THRESHOLDS OR TRANSITIONS.
3. **CONSTRUCTION TOLERANCE CONSIDERATIONS**
 - A. ALL STUDS SHALL BE CUT LEVEL, SQUARE & TIGHT TO TOP & BOTTOM PLATES TO REDUCE ANY ADDITIONAL SHORTENING OF THE BUILDING DUE TO NESTING, SHIM ANY GAPS.
 - B. ALL WOOD STRUCTURAL PANELS ON THE WALLS SHALL HAVE A RELIEF GAP AT EACH FLOOR LEVEL TO REDUCE THE POTENTIAL FOR BULGING.
 - C. ALL FLOOR SHEATHING SHALL HAVE 1/8" GAPS AROUND ALL FOUR SIDES AT TIME OF INSTALL TO ALLOW FOR POTENTIAL BULGING.
 - D. ALL SHEAR WALL HOLD-DOWNS SHALL BE CHECKED AND RETIGHTENED IMMEDIATELY PRIOR TO CLOSING OFF ACCESS WITH FINISH MATERIAL. ATS ROD SPRINGS AT TAKE UP DEVICES PRIOR TO CLOSING OFF ACCESS WITH FINISH MATERIAL.
 - E. DELAY PLACEMENT OF GYP TOPPING AROUND STAIR & ELEVATOR TOWERS UNTIL COMPLETING OF CONSTRUCTION.
4. **MATERIAL STORAGE & PROTECTION**
 - A. ALL STORED MATERIAL SHALL REMAIN COVERED & ELEVATED FROM THE ELEMENTS TO REDUCE THE POTENTIAL FOR AN INCREASE IN MOISTURE CONTENT.
 - B. DO NOT ALLOW WATER TO POND ON THE FLOOR SHEATHING. PROVIDE DRAIN HOLES IN THE FLOOR SHEATHING AS REQUIRED TO RELIEVE ANY WATER THAT MIGHT TEMPORARILY POND.
5. **POST OCCUPANCY CONSIDERATION**
 - A. REVIEW ROOF DRAINS EVERY 3 MONTHS FOR THE FIRST 18 MONTHS OF OCCUPANCY AND THEN ANNUALLY ADJUST AS NEEDED.
 - B. VERT JOINTS AT EXT DOORS, WINDOWS & AT CHANGES IN MATERIALS SHALL BE REVIEWED & CAULKED AS NEEDED AS SHRINKAGE OCCURS & ORIGINAL JOINT FAILS.
 - C. REMEDIAL SELF-LEVELING WORK MAY BE REQUIRED AROUND CONCRETE OR CMU STAIR AND ELEVATOR TOWERS AS NEEDED AS SHRINKAGE OCCURS.



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PERMIT DOCUMENTS

REVISION #	DESCRIPTION	DATE
		3/13/2026



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PROJECT NUMBER 2025-37

GENERAL NOTES AND SPECIFICATIONS

S101

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IRC SCHEDULE - BRACED WALL PLAN WIND CHECKLIST

BRACED WALL LINE MARK	LEVEL (TOP-1, SECOND-2, BOTTOM-3)	BRACED WALL SPACING TABLE R602.10.1.3	BRACING METHOD TABLE R602.10.1.4	REQUIRED BRACING LENGTH TABLE R602.10.3(1)	TABLE R602.10.3 (2) - REQUIRED LENGTH WIND ADJUSTMENT FACTORS								
					EXPOSURE CATEGORY ITEM 1	EAVE-TO-RIDGE HEIGHT ITEM 2	STORY HEIGHT ITEM 3	# OF BW LINES ITEM 4	800 LB HOLD-DOWN ITEM 5	INT. GYP BD? ITEM 6	REDUCED GYP BD FASTNER SP. ITEM 7	ADJUSTED BRACED WALL LENGTH R602.10.3	PROVIDED LENGTH
1.1	1	18.0 ft	WSP	3.5 ft	(B) 1.0	(4.8 ft) 0.7	(7.8 ft) 0.9	(2) 1.0	(No) 1.0	(Yes) 1.0	(No) 1.0	2.3 ft	18.5 ft
1.2	2	21.4 ft	GB	13.4 ft	(B) 1.0	(10.0 ft) 1.0	(8.7 ft) 0.9	(3) 1.3	(No) 1.0	(No) 1.0	(No) 1.0	16.4 ft	24.3 ft
1.3	1	24.8 ft	WSP	4.7 ft	(B) 1.0	(10.0 ft) 1.0	(10.7 ft) 1.0	(3) 1.3	(No) 1.0	(Yes) 1.0	(No) 1.0	6.3 ft	8.0 ft
1.A	1	59.1 ft	WSP	10.4 ft	(B) 1.0	(4.8 ft) 0.7	(7.8 ft) 0.9	(2) 1.0	(No) 1.0	(Yes) 1.0	(No) 1.0	6.5 ft	7.2 ft
1.B	2	26.0 ft	GB	15.9 ft	(B) 1.0	(10.0 ft) 1.0	(8.7 ft) 0.9	(3) 1.3	(No) 1.0	(Yes) 1.0	(No) 1.0	19.4 ft	20.3 ft
1.C	1	<varies>	<varies>	10.4 ft	(B) 1.0	(10.0 ft) 1.0	<varies> <varies>	(2) 1.0	(No) 1.0	(Yes) 1.0	(No) 1.0	9.8 ft	19.5 ft
2.1	1	29.8 ft	WSP	5.5 ft	(B) 1.0	(2.7 ft) 0.9	(5.9 ft) 0.8	(2) 1.0	(No) 1.0	(Yes) 1.0	(No) 1.0	4.0 ft	9.5 ft
2.2	1	29.8 ft	WSP	5.5 ft	(B) 1.0	(0.0 ft) 0.9	(5.9 ft) 0.8	(2) 1.0	(No) 1.0	(Yes) 1.0	(No) 1.0	3.6 ft	12.8 ft
2.A	1	20.9 ft	WSP	4.0 ft	(B) 1.0	(6.0 ft) 0.9	(4.0 ft) 0.7	(2) 1.0	(No) 1.0	(Yes) 1.0	(No) 1.0	2.5 ft	7.9 ft

CHECKLIST ITEM:
 BRACED WALL PANEL WITHIN 10' OF ALL B/WL ENDS
 BRACED WALL PANELS = 20' SPACING
 ALL WALLS <= 16'-0" HAVE MIN 2 B/WP'S OF ANY LENGTH OR ONE 48"
 ALL WALLS > 16'-0" HAVE MINIMUM 2 B/WP'S
 ALL PANELS INCLUDED IN THE PROVIDED BWP LENGTH COLUMN MEET THE MINIMUM LENGTH OF BRACED WALL PANELS
 ANGLED WALLS CALCULATED AND SHOWN CORRECTLY WHERE APPLICABLE
 1/2" MIN GYPSUM WALL BOAD WITH CORRECT FASTENERS AT INTERIOR OF BWP
 METHODS ABW, PFH, PFG, CS-PF, OR BV-WSP COMPLY
 CONTINUOUS SHEATHING END CONDITION IS COMPLIANT
 CONNECTIONS TO ROOF FRAMING SHOWN AND COMPLIANT

IRC SCHEDULE - PORTAL FRAME STRAP

NOTES:
 1. INSTALL SIMPSON COIL STRAP PER MFR SPECIFICATIONS
 2. CMST/CMSTC STRAPS REQUIRE MIN (2) 2x FRAMING TO NAIL INTO.
 3. IF STRAP LENGTH EXCEEDS HEIGHT OF WALL, WRAP REMAINING LENGTH OVER TOP AND DOWN FRONT SIDE AS NECESSARY.
 4. INSTALL WALL BLOCKING PRIOR TO CONSTRUCTING FRAMING ABOVE BEARING WALLS.
 5. LATERAL CLIPS REQUIRED; PROVIDE SIMPSON A35 CLIP AT EACH STUD ABOVE HEADER.
 REFERENCE TYPICAL DETAILS FOR CLIP LOCATION.

MAX OPENING WIDTH	SIMPSON STRAP (TOTAL LENGTH)			
	0 ft	1 ft	2 ft	4 ft
EXPOSURE B				
115 MPH				
2x4 - 12'-0" MAX WALL HEIGHT	9'-0" CS20 (18")	CS20 (18")	CS20 (18")	N/A
	18'-0" CS20 (18")	CSHP18 (18")	CMSTC16 (26")	N/A
2x4 - 12'-0" MAX WALL HEIGHT	9'-0" CS16 (30")	CS16 (30")	CS16 (30")	CMSTC16 (26")
	12'-0" CMSTC16 (50")	CMSTC16 (50")	CMSTC16 (50")	CMSTC16 (50")
	18'-0" CMSTC16 (50")	CMSTC16 (50")	CMSTC16 (50")	N/A
2x6 - 12'-0" MAX WALL HEIGHT	9'-0" CS20 (18")	CS20 (18")	CS20 (18")	CS14 (30")
	18'-0" CMSTC16 (26")	CMSTC16 (26")	CMSTC16 (26")	CMSTC16 (50")

IRC SCHEDULE - 800 LB HOLDOWN

NOTES:
 1. 800 LB CAPACITY HOLDOWN REQUIRED BY IRC; EQUIVALENT OPTIONS PROVIDED
 2. EMBEDDED HOLDOWN OPTION TO BE COORDINATED IN FIELD PRIOR TO CONCRETE POUR
 3. INSTALL PER MFR SPECIFICATIONS
 * LSTHD8 HOLDOWN REQUIRES MIN OF (2) END STUDS FOR TY ATTACHMENT AND (3) END STUDS AT CORNERS AND EDGES

INSTALLATION TYPE	SIMPSON HOLDOWN
CONCRETE - EMBEDDED	LSTHD8*
CONCRETE - POST-INSTALLED STRAP	DTTZZ LSTA15

SCHEDULE - WOOD HANGERS

NOTES:
 1. ALL HANGERS ARE SIMPSON PRODUCTS UNO.
 2. ALL EXTERIOR HANGERS TO BE ZMAX OR GALVANIZED.
 3. INSTALL ALL HANGERS PER MANUFACTURERS RECOMMENDATIONS.
 4. AT ROOF AND DECK LOCATIONS, USE FACEMOUT HANGERS UNO.
 5. USE SCHEDULE UNO ON PLAN.
 6. WHERE FACE-MOUNT HANGER HEADER/FACE FASTENER LENGTH IS GREATER THAN THICKNESS OF SUPPORT MEMBER, FASTENER MUST BE SUBSTITUTED RESPECTIVELY: 0.148" x 3" TO 0.148" x 2.12", 0.162" x 3.12" TO 0.162" x 2.12" PER SIMPSON MANUFACTURER REQUIREMENTS. EOR SHOULD BE NOTIFIED IF OTHER CONDITIONS EXISTS.

BEAM	FACE MOUNT HANGER	TOP FLANGE HANGER	CONCEALED HANGER
(2) 1 1/2"x7 1/4"	N/A	BA3.56X7.188	N/A
(3) 1 1/2"x7 1/4"	HGUS5.50/8	N/A	HUC68
(2) 1 1/2"x9 1/4"	U410	ITS3.56/9.5	HUC410
(3) 1 1/2"x9 1/4"	U410	ITS3.56/9.5	HUC410
(2) 1 1/2"x11 1/4"	HHUS48	BA3.56/11.88	N/A
2x6	LUS26	JB26	LUC26Z
(2) 2x6	LUS26-2	HUS26-2TF	HUC26-2
(3) 2x6	LUS26-3	N/A	HUC26-3
2x8	LUS28	LB28	N/A
(2) 2x8	LUS28-2	HUS28-2TF	HUC26-2
(3) 2x8	LUS28-3	BA4.68X7.125	HUC26-3
2x10	LUS210	LB210AZ	N/A
(2) 2x10	LUS210-2	HUS210-2TF	HUC210-2
(3) 2x10	LUS210-3	HU210-3TF	HUC210-3
2x12	LUS210	LB212AZ	N/A
(2) 2x12	LUS210-2	HUS212-2TF	HUC212-2
(3) 2x12	LUS210-3	HU212-3TF	HUC212-3

SCHEDULE - WOOD WALLS

NOTES:
 1. WALL SOLE PLATE ATTACHMENT, UNO; 1/2" DIA CAST-IN-PLACE ANCHORS WITH 7" EMBED AT 32" OC ATTACHMENT TO CONCRETE OR (2) ROWS OF 16d NAILS AT 16" OC STAGGERED WHEN FASTENING TO WOOD.
 2. REFERENCE SHEAR WALL SCHEDULE FOR ADDITIONAL NAILING REQUIREMENTS.
 3. PROVIDE WALL STUD BLOCKING AT 4'-0" MAX FOR ALL WALLS SUPPORTING (2) OR MORE WALLS ABOVE.
 4. INSTALL WALL BLOCKING PRIOR TO CONSTRUCTING FRAMING ABOVE BEARING WALLS.
 5. LATERAL CLIPS REQUIRED; PROVIDE SIMPSON A35 CLIP AT EACH STUD ABOVE HEADER.
 REFERENCE TYPICAL DETAILS FOR CLIP LOCATION.

MARK	MATERIAL	WALL STUDS	COMMENTS
SPF4	SPF No 2	(1) 2x4 AT 16"	
SPF6	SPF No 2	(1) 2x6 AT 16"	

SCHEDULE - HEADERS

NOTES:
 1. JAMB AND SILL STUDS TO MATCH TYPICAL WALL STUDS UNO.

MARK	HEADER	COMMENTS
H2-8	(2) 2x8	CEILING JOISTS
H2-10	(2) 2x10	
H3-8	(3) 2x8	
H3-12	(3) 2x12	DOUBLE EVERY OTHER JOIST
H3-16	(3) 1 1/2"x16" LVL	

SCHEDULE - JOISTS

MARK	JOISTS	SPACING	COMMENTS
J1	2x6	16"	CEILING JOISTS
J2	2x8	16"	
J3	2x10	16"	
J4	2x12	16"	
J5	2x12	16"	DOUBLE EVERY OTHER JOIST
J6	(2) 2x12	16"	

SCHEDULE - RAFTERS

MARK	RAFTERS	SPACING	COMMENTS
R1	2x6 RAFTER	16"	
R2	2x8 RAFTER	16"	

SCHEDULE - BEAMS

MARK	BEAM SIZE	COMMENTS
B1-10	2x10	
B2-6	(2) 2x6	
B2-7	(2) 1 1/2"x7 1/4" LVL	
B2-8	(2) 2x8	
B2-9.25	(2) 1 1/2"x9 1/4" LVL	
B2-10	(2) 2x10	
B2-11.25	(2) 1 1/2"x11 1/4" LVL	
B2-12	(2) 2x12	
B3-6	(3) 2x6	
B3-7	(3) 1 1/2"x7 1/4" LVL	
B3-8	(3) 2x8	
B3-9.25	(3) 1 1/2"x9 1/4" LVL	
B3-10	(3) 2x10	
B3-12	(3) 2x12	
B4-7	(4) 1 1/2"x7 1/4" LVL	

IRC SCHEDULE - SHEATHING FASTENING

NOTES:
 A. NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED.
 NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS SHOWN, 80 KSI FOR SHANK DIAMETER OF 0.192 INCH (200 COMMON NAIL), 90 KSI FOR SHANK DIAMETERS LARGER THAN 0.142 INCH BUT NOT LARGER THAN 0.177 INCH, AND 100 KSI FOR SHANK DIAMETERS OF 0.142 INCH OR LESS.
 B. STAPLES ARE 16 GAGE WIRE AND HAVE A MINIMUM 7/16" INCH ON DIAMETER CROWN WIDTH. C. NAILS SHALL BE SPACED AT NOT MORE THAN 6 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.
 D. FOUR-FOOT BY 8-FOOT OR 4-FOOT BY 9-FOOT PANELS SHALL BE APPLIED VERTICALLY.
 E. SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(2).
 F. FOR WOOD STRUCTURAL PANEL ROOF SHEATHING ATTACHED TO GABLE END ROOF FRAMING AND TO INTERMEDIATE SUPPORTS WITHIN 48 INCHES OF ROOF EDGES AND RIDGES, NAILS SHALL BE SPACED AT 6 INCHES ON CENTER WHERE THE ULTIMATE DESIGN WIND SPEED IS LESS THAN 130 MPH AND SHALL BE SPACED 4 INCHES ON CENTER WHERE THE ULTIMATE DESIGN WIND SPEED IS 130 MPH OR GREATER BUT LESS THAN 140 MPH.
 G. GYPSUM SHEATHING SHALL CONFORM TO ASTM C1396 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C208.
 H. SHEATHING AND ATTACHMENTS SHOWN IN THIS SCHEDULE APPLY TO TYPICAL APPLICATIONS ONLY. REF BRACED WALL AND SHEAR WALL PLANS FOR ADDITIONAL SHEATHING AND NAILING REQUIREMENTS.
 I. WHERE GYP BOARD IS APPLIED VERTICALLY PROVIDE BLOCKING AT ALL HORIZONTAL EDGES.

TYPE	SHEATHING TYPE	ATTACHMENT	BLOCKED
EXTERIOR	7/16" APA RATED WSP EXP. 1, 24/16 SPAN RATING	8d [6" OC / 12" OC]	No
INTERIOR	MIN 1/2" GYPSUM BOARD	#6 x 1 1/4" TYPE W SCREWS [16" OC / 16" OC]	No
BRACED WALL APPLICATION			
WSP / CS-WSP	7/16" APA RATED WSP EXP. 1, 24/16 SPAN RATING	8d [6" OC / 12" OC]	Yes
PFH	7/16" APA RATED WSP EXP. 1, 24/16 SPAN RATING	REF BRACED WALL DETAILS	Yes
TYPICAL FLOOR / ROOF APPLICATION			
ROOF	7/16" APA RATED WSP EXP. 1, 24/16 SPAN RATING	8d x 2 1/2" [6" OC / 12" OC]	No
FLOOR	3/4" (NOMINAL) T&G EXPOSURE 1 APA RATED, 48/24 SPAN RATING	8d x 2 1/2" [6" OC / 12" OC] & CONSTRUCTION ADHESIVE	No

IRC SCHEDULE - LEDGER ATTACHMENT

BEAM SIZE	"X"
2x8*	5-1/2" MIN
2x10	6-1/2" MIN
2x12	7-1/2" MIN

* DISTANCE SHALL BE PERMITTED TO BE REDUCED TO 4-1/2" MIN TO ATTACH 2X8 LEDGERS TO 2X8 BAND JOISTS

JOIST SPAN	OC LAG SCREWS	FASTENMASTER LEDGERLOK SPACING
6'-0"	16" OC	16" OC
8'-0"	16" OC	16" OC
10'-0"	16" OC	16" OC
12'-0"	15" OC	12" OC
14'-0"	13" OC	10" OC
16'-0"	11" OC	9" OC
18'-0"	10" OC	8" OC

NOTES:
 1. ASSUMES 40 PSF LIVE LOAD
 2. 1/2" DIA LAG SCREW WITH 1/2" MAX SHEATHING
 3. REF IRC FIGURE R507.9.3(1)

SCHEDULE - IRC WOOD FASTENING

IRC TABLE R602.3(1)

NOTES:
 A. RRS-01 IS A ROOF SHEATHING RING SHANK NAIL MEETING THE SPECIFICATIONS OF ASTM F1667.
 B. NAILS SHALL BE SPACED AT NOT MORE THAN 6" OC AT ALL SUPPORTS WHERE SPANS ARE 48" OR GREATER.
 C. 4'-0" BY 8'-0" OR 4'-0" BY 9'-0" PANELS SHALL BE APPLIED VERTICALLY.
 D. GYPSUM SHEATHING SHALL CONFORM TO ASTM C1396 AND SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C1280 OR GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C208.
 E. SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERP TO THE FRAMING MEMBERS NEED NOT BE PROVIDED EXCEPT AS REQUIRED BY OTHER PROVISIONS OF THIS CODE. FLOOR PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.
 F. WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE, PROVIDE (2) TOE-NAILS ON (1) SIDE OF THE RAFTER AND TOE-NAILS FROM THE CEILING JOIST TO TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE. THE TOE-NAIL ON THE OPP SIDE OF THE RAFTER SHALL NOT BE REQUIRED.

NUMBER AND TYPE OF FASTENER (A,B,C)	SPACING AND LOCATION
ROOF	
1. BLOCKING BETWEEN CEILING JOISTS, RAFTERS OR TRUSSES TO TOP PLATE OR OTHER FRAMING BELOW	
(3) 8d COMMON; OR (3) 10d BOX	TOE-NAIL
1a. BLOCKING BETWEEN RAFTERS OR TRUSS NOT AT THE WALL TOP PLATES, TO RAFTER OR TRUSS	
(2) 8d COMMON	EA END, TOE-NAIL
(2) 16d COMMON	END NAIL
1b. FLAT BLOCKING TO TRUSS AND WEB FILLER	6" OC FACE NAIL
16d COMMON	
2. CEILING JOIST TO TOP PLATE	
(3) 8d COMMON; OR (3) 10d BOX	PER JOIST, TOE-NAIL
3. CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS (NO THRUST)	FACE NAIL
(3) 16d COMMON; OR (4) 10d BOX	
4. CEILING JOIST ATTACHED TO PARALLEL RAFTER (HEEL JOINT)	FACE NAIL
TABLE R602.5.2(1)	
5. COLLAR TIE TO RAFTER, FACE NAIL	FACE NAIL EA RAFTER
(3) 10d COMMON; OR (4) 10d BOX	
6. RAFTER OR ROOF TRUSS TO TOP PLATE	
(3) 10d COMMON; OR (3) 16d BOX; OR (2) TOE-NAIL ON (1) SIDE, (1) ON OPP SIDE (1)	
7. ROOF RAFTERS TO RIDGE VALLEY OR HIP RAFTERS, OR ROOF RAFTER TO MIN 2" RIDGE BEAM	
(3) 10d COMMON; OR (4) 10d BOX	TOE-NAIL
(2) 16d COMMON; OR (3) 10d BOX	END NAIL
WALL	
8. STUD TO STUD (NOT AT BRACED WALL PANELS)	24" OC, FACE NAIL
16d COMMON	
10d BOX	16" OC, FACE NAIL
9. STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	12" OC, FACE NAIL
16d COMMON	
16d COMMON	16" OC, FACE NAIL
10. BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2" SPACER)	12" OC EA EDGE, FACE NAIL
16d COMMON	
16d COMMON	16" OC EA EDGE, FACE NAIL
16d BOX	
11. CONTINUOUS HEADER TO STUD	TOE-NAIL
(4) 8d COMMON; OR (4) 10d BOX	
12. ADJACENT FULL-HEIGHT STUD TO END OF HEADER	
(3) 16d COMMON; OR (4) 10d BOX	END NAIL, EA PLY
13. TOP PLATE TO TOP PLATE	END NAIL, EA PLY
16d COMMON	
16d COMMON	16" OC, FACE NAIL
10d BOX	12" OC, FACE NAIL
14. DOUBLE TOP PLATE SPLICE (MIN 24" LAP SPLICE LENGTH EA SIDE OF JOINT)	
(8) 16d COMMON; OR (12) 10d BOX	FACE NAIL EA SIDE OF END JOINT
15. BOT PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	
16d COMMON	16" OC, FACE NAIL
16d COMMON	12" OC, FACE NAIL
16d BOX	
16. BOT PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANELS)	
(2) 16d COMMON; OR (3) 16d BOX	16" OC, FACE NAIL
17. TOP OR BOTTOM PLATE TO STUD	
(4) 8d BOX; OR (3) 16d BOX; OR (4) 8d COMMON; OR (4) 10d BOX; OR	TOE-NAIL
(3) 16d BOX; OR (2) 16d COMMON; OR (3) 10d BOX	END NAIL
18. TOP PLATE, LAPS AT CORNERS AND INTERSECTIONS	FACE NAIL
16d COMMON; OR (3) 10d BOX	
19. 1" BRACE TO EA STUD AND PLATE	
(3) 8d BOX; OR (2) 8d COMMON; OR (2) 10d BOX	FACE NAIL
20. 1" X 6" SHEATHING TO EA BEARING	
(3) 8d BOX; OR (2) 8d COMMON; OR (2) 10d BOX	FACE NAIL
21. 1" X 8" SHEATHING TO EA BEARING	
(3) 8d COMMON; OR (3) 10d BOX	FACE NAIL
FLOOR	
22. JOIST TO SILL, TOP PLATE, OR GIRDER	
(4) 8d BOX; OR (3) 8d COMMON; OR (3) 10d BOX	TOE-NAIL
23. RIM JOIST, BAND JOIST, OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	
8d BOX	4" OC, TOE-NAIL
(3) 8d COMMON; OR (3) 10d BOX	6" OC, TOE-NAIL
24. 1" X 6" SUBFLOOR OR LESS TO EA JOIST	
(3) 8d BOX; OR (2) 8d COMMON; OR (3) 10d BOX	FACE NAIL
25. 2" SUBFLOOR TO JOIST OR GIRDER	
(3) 16d BOX; OR (2) 16d COMMON	BLIND AND FACE NAIL
26. 2" PLANKS (PLANK & BEAM - FLOOR & ROOF)	
(3) 16d BOX; OR (2) 16d COMMON	EA BEARING, FACE NAIL
27. BAND OR RIM JOIST TO JOIST	
(3) 16d BOX; OR (4) 10d COMMON	END NAIL
28. BUILT-UP GIRDERS AND BEAM, 2" LUMBER LAYERS	
20d COMMON	NAIL EA LAYER WITH: 32" OC AT T&B STAGGERED
10d BOX	24" OC, FACE NAIL AT T&B STAGGERED ON OPP SIDES
AND: (2) 20d COMMON; OR (3) 10d BOX	FACE NAIL AT ENDS AND AT EA SPLICE
29. LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	
(4) 16d BOX; OR (3) 16d COMMON; OR (4) 10d BOX	EA JOIST OR RAFTER, FACE NAIL
30. BRIDGING OR BLOCKING TO JOIST, RAFTER OR TRUSS	
(2) 10d BOX	EA END, TOE-NAIL

SCHEDULE - SLABS ON GRADE

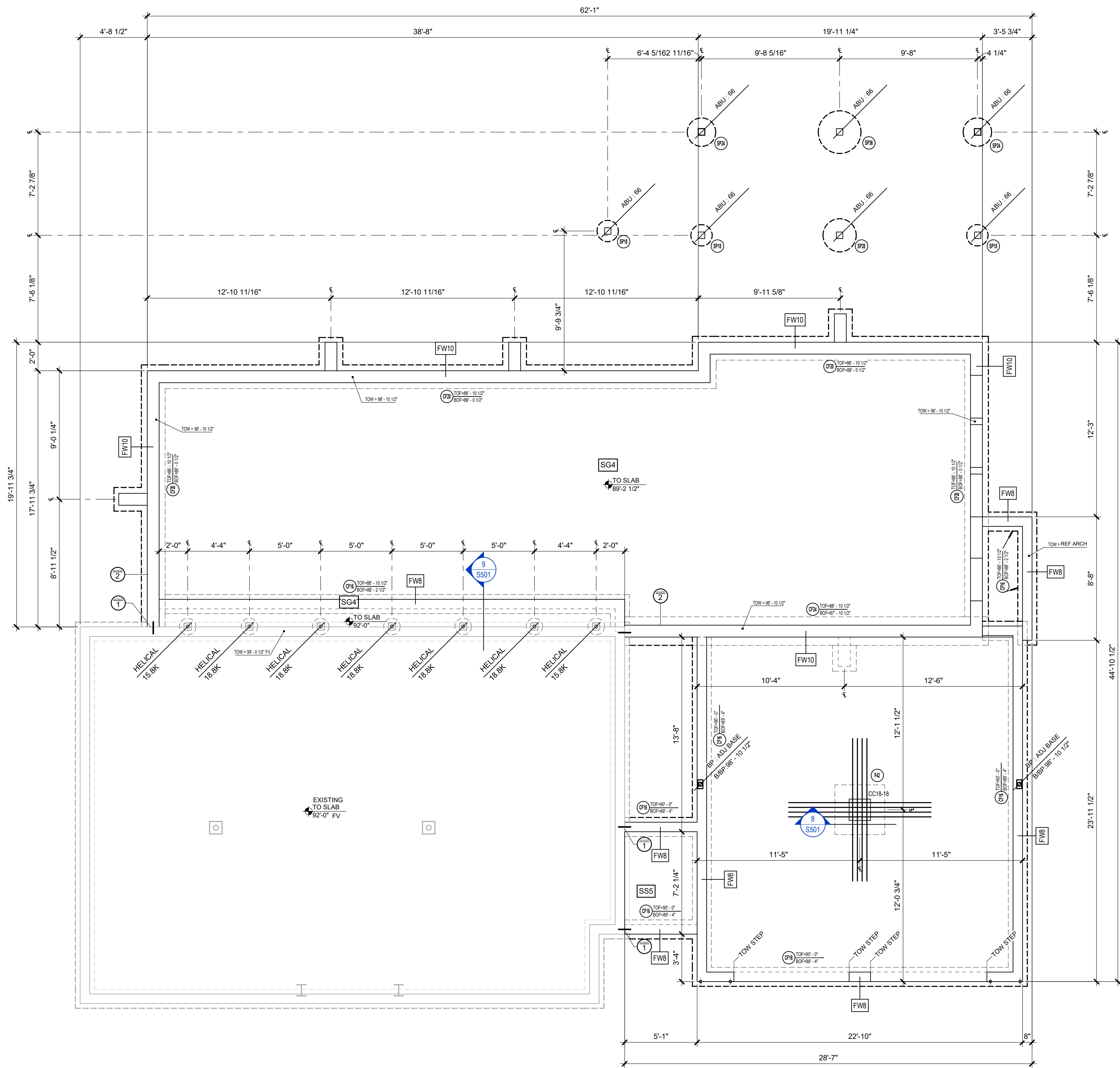
NOTES:
 1. PROVIDE CONTROL JOINTS (1/4 SLAB THICKNESS) SPACED AT 30xSLAB THICKNESS OC BOTH WAYS, NOT SHOWN FOR CLARITY.

MARK	SLAB CLASS	WEIGHT	SLAB REINFORCING	ADDITIONAL REQUIREMENTS
SG4	4"	NW	#4 AT 24" OC [C] EA WAY OR 6X6 W2.9X2.9 WWF [C]	10 MIL VAPOR BARRIER ON 4" OF 3/4" CLEAN, GRADED ROCK

SCHEDULE - CONCRETE REBAR

NOTES:
 1. TOP INDICATES BARS WITH MORE THAN 12" OF FRESH CONCRETE PLACED BELOW HORIZONTAL REINFORCEMENT.
 2. PROVIDE 6" LAP AT ALL WELDED WIRE FABRIC JOINTS.
 3. PROVIDE 1.08 (1" MINIMUM) CLEARANCE BETWEEN ADJACENT BARS.
 4. PROVIDE WIRE TIES AT EACH END OF BAR SPLICE.
 5. DO NOT PROVIDE CLASS A SPLICE UNLESS SPECIFICALLY DETAILED.
 6. USE THIS TABLE UNLESS NOTED OTHERWISE ON PLAN OR IN DETAILS.

BAR SIZE	DEVELOPMENT LENGTHS			
	CLASS A (STD) - Ld	CLASS B - Ld		HOOK - Ldh
	TYP	TOP	TYP	TOP
Fc = 3000 psi				
#3	17"	22"	22"	28"
#4	22"	28"	29"	35"
#5	28"	36"	37"	47"
#6	33"	43"	43"	56"
#7	48"	63"	63"	82"
#8				



FOUNDATION PLAN
1/4" = 1'-0"

PLAN NOTES - FOUNDATIONS

- CONTRACTOR TO VERIFY ALL FOUNDATION ELEVATIONS AND STEPS PER SITE CONDITIONS.
- TOP OF SLAB ELEVATION SHOWN IN PLAN IS FOR REFERENCE ONLY.
- REFERENCE ARCHITECTURAL DRAWINGS FOR WALL OPENING DIMENSIONS, EXTERIOR FINISHES AND ADDITIONAL NOTES.
- REFERENCE GENERAL NOTES SHEET FOR ADDITIONAL FOUNDATION SPECIFICATIONS.
- CONTRACTOR TO CONTACT APEX ENGINEERS, INC AT LEAST 48 HRS IN ADVANCE OF ANY CONCRETE POUR.
- REFERENCE WALL SCHEDULES FOR ANCHOR BOLT REQUIREMENTS AND SPACING.

SCHEDULE - SHALLOW PIERS

MARK	DIAMETER	DEPTH	VERTICAL BARS	TIES
SP18	18"	3'-0"	N/A	N/A
SP24	24"	3'-0"	N/A	N/A
SP28	28"	3'-0"	N/A	N/A
SP36	36"	3'-0"	N/A	N/A

SCHEDULE - CONTINUOUS FOOTINGS

MARK	WIDTH	DEPTH	LONG BARS	TRANS BARS
CF16	1'-4"	8"	(2) #4 CONT	N/A
CF20	1'-8"	10"	(2) #4 CONT	N/A
CF24	2'-0"	12"	(3) #4 CONT	N/A

SCHEDULE - FOUNDATION WALLS

NOTES:
1. WHEN (2) MATS OF HORIZONTAL REINFORCING ARE SPECIFIED, PLACE THE VERTICAL MAT ON THE EXTERIOR FACE.

MARK	WIDTH	VERTICAL BARS	HORIZONTAL BARS	FOOTING DOWELS
FW8	8"	#4 AT 24" OC	#4 AT 24" OC	MATCH VERT BARS
FW10	10"	#4 AT 12" OC	#4 AT 24" OC	MATCH VERT BARS

SCHEDULE - SLABS ON GRADE

NOTES:
1. PROVIDE CONTROL JOINTS (1/4 SLAB THICKNESS) SPACED AT 30xSLAB THICKNESS OC BOTH WAYS, NOT SHOWN FOR CLARITY.

MARK	SLAB THICKNESS	WEIGHT CLASS	SLAB REINFORCING	ADDITIONAL REQUIREMENTS
SG4	4"	NW	#4 AT 24" OC [C] EA WAY OR 6X6 W2.9XW2.9 WWF [C]	10 MIL VAPOR BARRIER ON 4" OF 3/4" CLEAN, GRADED ROCK

SCHEDULE - STRUCTURAL SLABS

NOTES:
1. DRILL MIN 5" OR EMBED MIN 24" AT FOUNDATION WALLS.
2. DO NOT SAWCUT OR PROVIDE CONTROL JOINTS IN STRUCTURAL SLABS.

MARK	SLAB THICKNESS	WEIGHT CLASS	SLAB REINFORCING	ADDITIONAL REQUIREMENTS
SS5	5"	NW	#4 AT 12" OC EA WAY WITH 1" BOT COVER	

SCHEDULE - PAD FOOTINGS

MARK	WIDTH	LENGTH	DEPTH	REINFORCING
F42	3'-6"	3'-6"	12"	(5) #4 EA WAY

SCHEDULE - CONCRETE PEDESTALS

NOTES:
1. PROVIDE (3) #3 OR (2) #4 ADDITIONAL TIES IN THE TOP 5". MATCH THE SIZING FROM THE SCHEDULE.

MARK	WIDTH	LENGTH	VERT BARS	TIES
CC18-18	18"	18"	(4) #4	N/A

SCHEDULE - KEYNOTE LEGEND

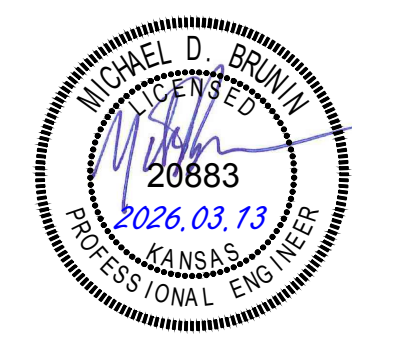
KEYNOTE	COMMENT
1	DRILL AND EPOXY HORIZ BARS MIN 5" INTO EXISTING FOUNDATION.
2	TOP OF NEW FOUNDATION WALL SHALL BE LOCATED LOWER THAN TOP OF EXISTING FOUNDATION WALL TO ALLOW FOR NEW AND EXISTING SUBFLOORS TO ALIGN.



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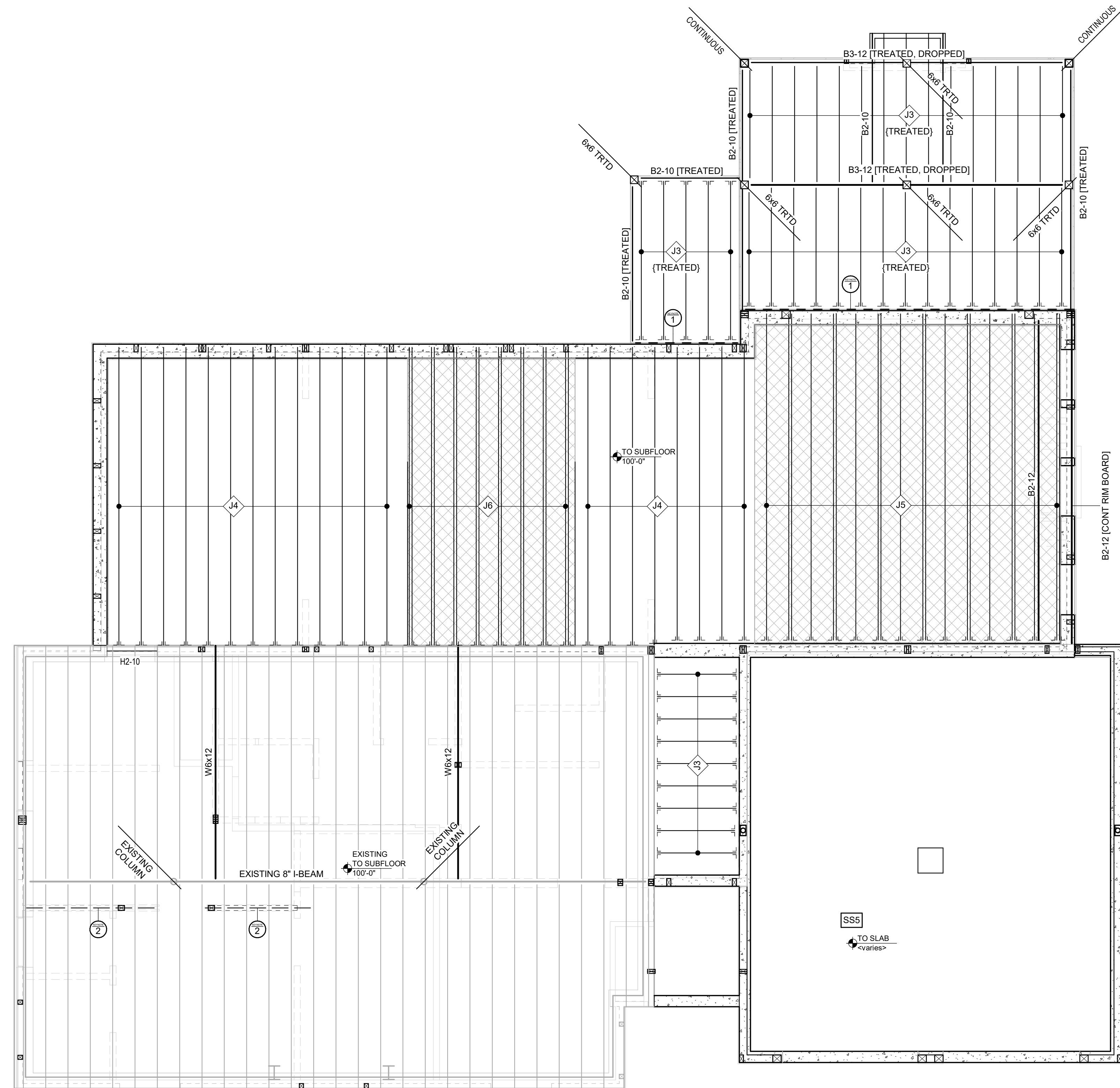
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FOUNDATION PLAN

S200



FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"

PLAN NOTES - WOOD FLOOR FRAMING

1. REF "LOADING DIAGRAMS" SHEET AND TRANSFER LOAD SCHEDULE FOR DESIGN LOADS.
2. WOOD COLUMNS AND STUD PACKS TO BE CONTINUOUS DOWN TO FOUNDATION OR STEEL FRAMING. PROVIDE BLOCKING AS REQUIRED TO MAINTAIN CONTINUITY.
3. ALL WOOD BEAMS ARE FLUSH, UNO.
4. REF PLANS FOR TOP OF STEEL BEAM ELEVATIONS.
5. REF ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, FINISHES, AND ADDITIONAL NOTES.
6. CONTRACTOR SHALL COORDINATE SIZE AND LOCATION OF OPENINGS WITH MEP AND ARCHITECTURAL DRAWINGS.
7. REF GENERAL NOTES AND SPECIFICATIONS FOR SYMBOLS, ABBREVIATIONS, AND ADDITIONAL SPECIFICATIONS.

SCHEDULE - WOOD WALLS

NOTES:
1. WALL SOLE PLATE ATTACHMENT, UNO: 1/2" DIA CAST-IN-PLACE ANCHORS WITH 7" EMBED AT 32" OC ATTACHMENT TO CONCRETE OR (2) ROWS OF 16d NAILS AT 16" OC STAGGERED WHEN FASTENING TO WOOD.
2. REFERENCE SHEAR WALL SCHEDULE FOR ADDITIONAL NAILING REQUIREMENTS.
3. PROVIDE WALL STUD BLOCKING AT 4'-0" OC MAX FOR ALL WALLS SUPPORTING (2) OR MORE WALLS ABOVE.
4. INSTALL WALL BLOCKING PRIOR TO CONSTRUCTING FRAMING ABOVE BEARING WALLS. REFERENCE TYPICAL DETAILS FOR CLIP LOCATION.
** = LATERAL CLIPS REQUIRED; PROVIDE SIMPSON A35 CLIP AT EACH STUD ABOVE HEADER, REFERENCE TYPICAL DETAILS FOR CLIP LOCATION.

MARK	MATERIAL	WALL STUDS	COMMENTS
SPF4	SPF No. 2	(1) 2x4 AT 16"	
SPF6	SPF No. 2	(1) 2x6 AT 16"	

SCHEDULE - HEADERS

NOTES:
1. JAMB AND SILL STUDS TO MATCH TYPICAL WALL STUDS UNO.
REQUIRED CLIPS WHERE NOTED, REFERENCE TYPICAL DETAILS FOR LOCATION:

LATERAL CLIPS		UPLIFT CLIPS	
L1: (1) A34		U1: (1) H2.5A	
L2: (1) A35		U2: (2) H2.5A	
L3: (2) A34, (2) STUDS REQUIRED		U3: (1) CS16 COIL STRAP	
L4: (2) A35, (2) STUDS REQUIRED		U4: (2) CS16 COIL STRAPS (1) EACH FACE	

MARK	HEADER	CONSTRUCTION	COMMENTS
H2-8	(2) 2x8		
H2-10	(2) 2x10		
H3-8	(3) 2x8		
H3-12	(3) 2x12		
H3-16	(3) 1 1/2"x16" LVL		

SCHEDULE - JOISTS

MARK	JOISTS	SPACING	COMMENTS
J1	2x6	16"	CEILING JOISTS
J2	2x8	16"	
J3	2x10	16"	
J4	2x12	16"	
J5	2x12	16"	DOUBLE EVERY OTHER JOIST
J6	(2) 2x12	16"	

SCHEDULE - BEAMS

MARK	BEAM SIZE	COMMENTS
B1-10	2x10	
B2-6	(2) 2x6	
B2-7	(2) 1 1/2"x7 1/2" LVL	
B2-8	(2) 2x8	
B2-9.25	(2) 1 1/2"x9 1/2" LVL	
B2-10	(2) 2x10	
B2-11.25	(2) 1 1/2"x11 1/2" LVL	
B2-12	(2) 2x12	
B3-6	(3) 2x6	
B3-7	(3) 1 1/2"x7 1/2" LVL	
B3-8	(3) 2x8	
B3-9.25	(3) 1 1/2"x9 1/2" LVL	
B3-10	(3) 2x10	
B3-12	(3) 2x12	
B4-7	(4) 1 1/2"x7 1/2" LVL	

SCHEDULE - WOOD HANGERS

- NOTES:
1. ALL HANGERS ARE SIMPSON PRODUCTS UNO.
2. ALL EXTERIOR HANGERS TO BE ZMAX OR GALVANIZED.
3. INSTALL ALL HANGERS PER MANUFACTURERS RECOMMENDATIONS.
4. AT ROOF AND DECK LOCATIONS, USE FACEMOUNT HANGERS UNO.
5. USE SCHEDULE UNO ON PLAN.
6. WHERE FACE-MOUNT HANGER HEADER/FACE FASTENER LENGTH IS GREATER THAN THICKNESS OF SUPPORT MEMBER, FASTENER MUST BE SUBSTITUTED RESPECTIVELY: 0.148" x 3" TO 0.148" x 2 1/2", 0.162" x 3 1/2" TO 0.162" x 2 1/2" PER SIMPSON MANUFACTURER REQUIREMENTS. EOR SHOULD BE NOTIFIED IF OTHER CONDITIONS EXISTS.

BEAM	FACE MOUNT HANGER	TOP FLANGE HANGER	CONCEALED HANGER
(2) 1 1/2"x7 1/2"	N/A	BA3.56X7.188	N/A
(3) 1 1/2"x7 1/2"	HGUS5.508	N/A	HUC88
(2) 1 1/2"x9 1/2"	U410	ITS3.569.5	HUC410
(3) 1 1/2"x9 1/2"	U410	ITS3.569.5	HUC410
(2) 1 1/2"x11 1/2"	HHUS48	BA3.5611.88	N/A
2x6	LUS26	JB26	LUC26Z
(2) 2x6	LUS26-2	HUS26-2TF	HUC26-2
(3) 2x6	LUS26-3	N/A	HUC26-3
2x8	LUS28	LB28	N/A
(2) 2x8	LUS28-2	HUS28-2TF	HUC26-2
(3) 2x8	LUS28-3	BA4.68X7.125	HUC26-3
2x10	LUS210	LB210AZ	N/A
(2) 2x10	LUS210-2	HUS210-2TF	HUC210-2
(3) 2x10	LUS210-3	HU210-3TF	HUC210-3
2x12	LUS210	LB212AZ	N/A
(2) 2x12	LUS210-2	HUS212-2TF	HUC212-2
(3) 2x12	LUS210-3	HU212-3TF	HUC212-3

SCHEDULE - KEYNOTE LEGEND

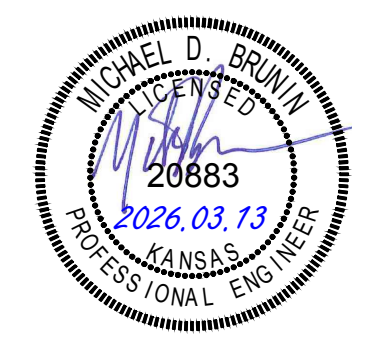
KEYNOTE	COMMENT
1	DASHED LINE INDICATES TREATED 2X10 LEDGER, REF LEDGER SCHEDULE FOR ATTACHMENT.
2	FULL HT BLOCKING BELOW LOAD BEARING WALL ABOVE.



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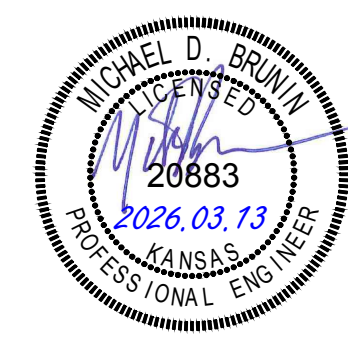


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FIRST FLOOR FRAMING PLAN

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FIRST FLOOR SHEAR WALL PLAN

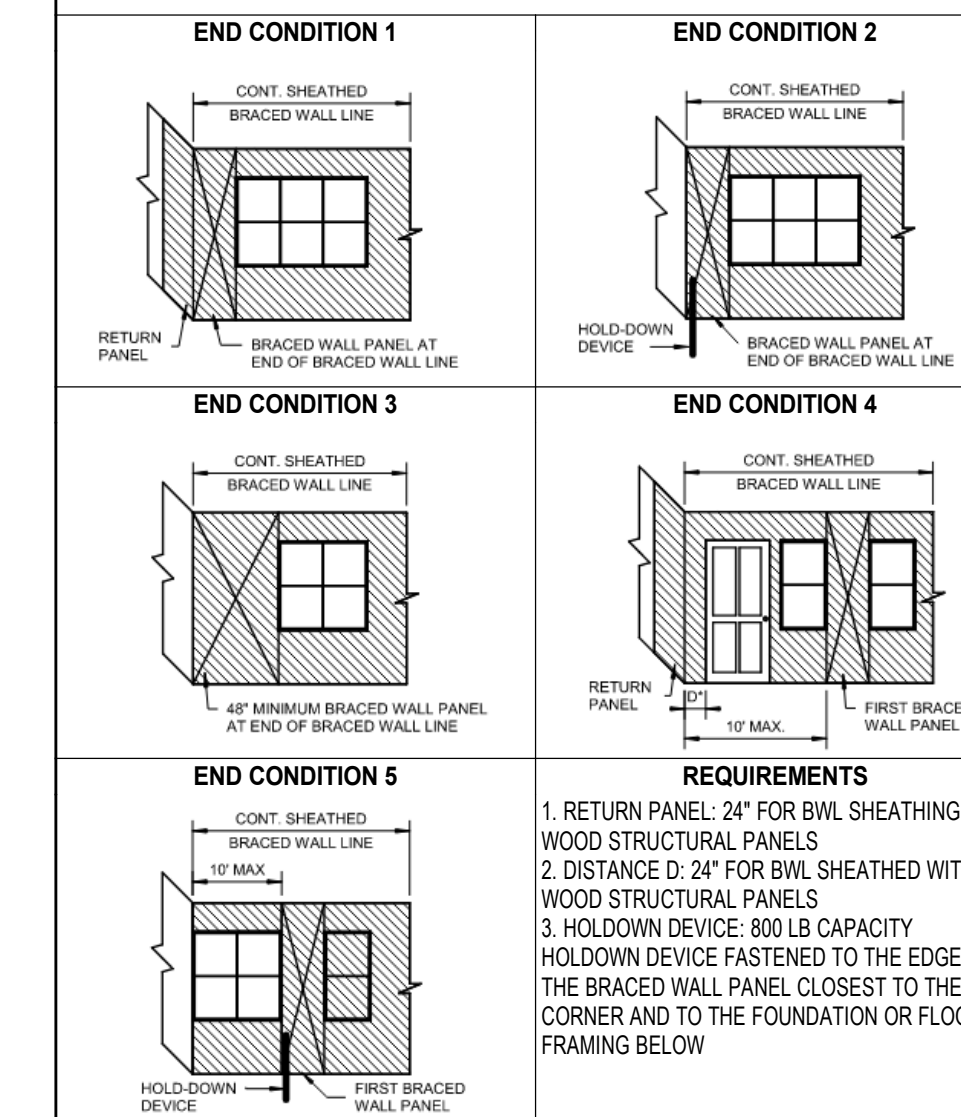
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PLAN NOTES - IRC BRACED WALLS

- PANEL EDGE BLOCKING REQUIRED AT ALL BRACED WALL PANELS. CONTRACTOR OPTION TO INSTALL FULL-HEIGHT SHEATHING AT EACH FLOOR.
- MIN 1/2" GYPSUM WALL BOARD INT FINISH REQUIRED AT ALL CS-WSP AND WSP BRACED WALLS.
- REF DETAILING REQUIREMENTS FOR ABW, PFH, PFG, CS-PF BRACED WALL CONSTRUCTION.
- WALLS 1'-0" OR LESS CONNECTING OFFSET BRACED WALL PANELS SHALL BE ATTCHED AT CORNERS WITH 3 1/2" 16d NAILS AT 12" OC.
- WALLS 2'-0" OR LESS CONNECTING OFFSET BRACED WALL PANELS SHALL HAVE NOT FEWER THAN (1) ANCHOR WITHIN THE CENTER 1/3 OF THE SOLE PLATE.
- GB: GYPSUM BOARD. 1/2" GYPSUM BOARD EA SIDE OF WALL. NAILS OR SCREWS PER GENERAL NOTES MAY BE USED. MAX FASTENER SPACING = 7" OC FOR BOTH EDGE AND FIELD FASTENERS.
- LIB METHOD: 1x4 WOOD FASTENED WITH (3) 8D COMMON NAILS OR SIMPSON/USP 16 GA TYPE WB (OR EQ) STEEL X-BRACE(S) AT 45 - 60 DEGREE ANGLES, MAX 16" OC STUD FASTENED PER MFR SPECIFICATIONS

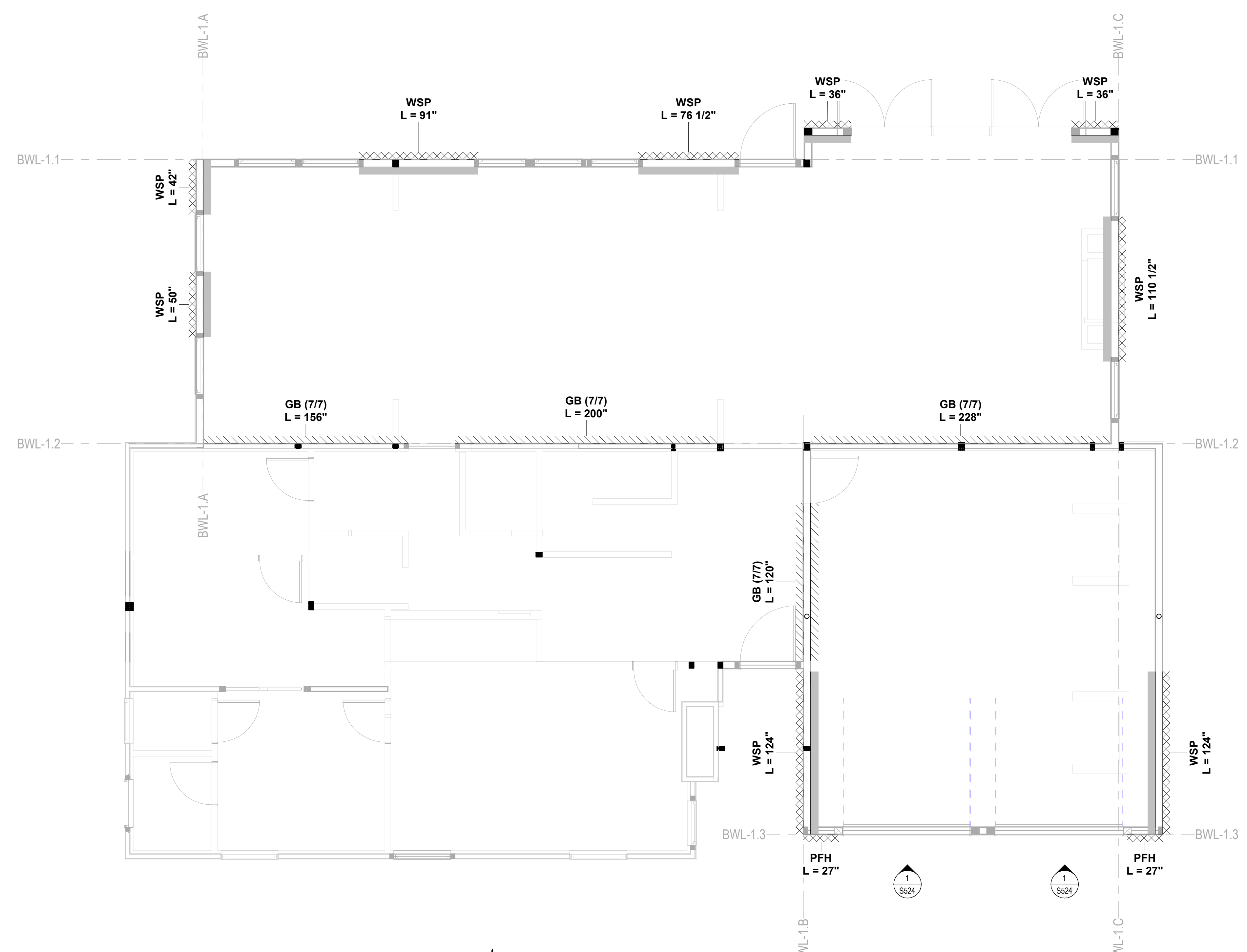
NOTES - CS-WSP END CONDITIONS



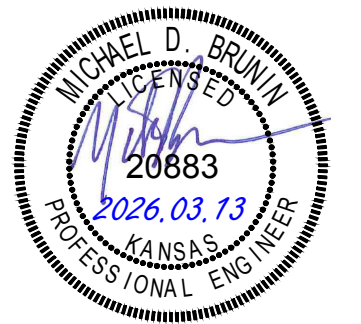
IRC SCHEDULE - PORTAL FRAME STRAP

NOTES:
1. INSTALL SIMPSON COIL STRAP PER MFR SPECIFICATIONS
2. CMSTC/STC STRAPS REQUIRE MIN (2) 2x FRAMING TO NAIL INTO.
3. IF STRAP LENGTH EXCEEDS HEIGHT OF WALL, WRAP REMAINING LENGTH OVER TOP AND DOWN FRONT SIDE AS NECESSARY

MAX OPENING WIDTH	SIMPSON STRAP (TOTAL LENGTH)			
	PONY WALL HEIGHT			
	0 ft	1 ft	2 ft	4 ft
EXPOSURE B				
115 MPH				
2x4 - 10'-0" MAX WALL HEIGHT				
9'-0"	CS20 (18")	CS20 (18")	CS20 (18")	N/A
18'-0"	CS20 (18")	CSHP18 (18")	CMSTC16 (26")	N/A
2x4 - 12'-0" MAX WALL HEIGHT				
9'-0"	CS16 (30")	CS16 (30")	CS16 (30")	CMSTC16 (26")
12'-0"	CMSTC16 (50")	CMSTC16 (50")	CMSTC16 (50")	CMSTC16 (50")
18'-0"	CMSTC16 (50")	CMSTC16 (50")	CMSTC16 (50")	N/A
2x6 - 12'-0" MAX WALL HEIGHT				
9'-0"	CS20 (18")	CS20 (18")	CS20 (18")	CS14 (30")
18'-0"	CMSTC16 (26")	CMSTC16 (26")	CMSTC16 (26")	CMSTC16 (50")



FIRST FLOOR SHEAR WALL PLAN
1/4" = 1'-0"



SEAL

TOWNSLEY RESIDENCE

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REVISION #	DESCRIPTION	DATE
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PROJECT NUMBER 2025-37

SECOND FLOOR FRAMING PLAN

S212

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PLAN NOTES - WOOD FLOOR FRAMING

- REF "LOADING DIAGRAMS" SHEET AND TRANSFER LOAD SCHEDULE FOR DESIGN LOADS.
- WOOD COLUMNS AND STUD PACKS TO BE CONTINUOUS DOWN TO FOUNDATION OR STEEL FRAMING. PROVIDE BLOCKING AS REQUIRED TO MAINTAIN CONTINUITY.
- ALL WOOD BEAMS ARE FLUSH UNO.
- REF PLANS FOR TOP OF STEEL BEAM ELEVATIONS.
- REF ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, FINISHES, AND ADDITIONAL NOTES.
- CONTRACTOR SHALL COORDINATE SIZE AND LOCATION OF OPENINGS WITH MEP AND ARCHITECTURAL DRAWINGS.
- REF GENERAL NOTES AND SPECIFICATIONS FOR SYMBOLS, ABBREVIATIONS, AND ADDITIONAL SPECIFICATIONS.

SCHEDULE - WOOD WALLS

- NOTES:
- WALL SOLE PLATE ATTACHMENT: UNO: 1/2" DIA CAST-IN-PLACE ANCHORS WITH 7" EMBED AT 32" OC ATTACHMENT TO CONCRETE OR (2) ROWS OF 16d NAILS AT 16" OC STAGGERED WHEN FASTENING TO WOOD.
 - REFERENCE SHEAR WALL SCHEDULE FOR ADDITIONAL NAILING REQUIREMENTS.
 - PROVIDE WALL STUD BLOCKING AT 4'-0" OC MAX FOR ALL WALLS SUPPORTING (2) OR MORE WALLS ABOVE.
 - INSTALL WALL BLOCKING PRIOR TO CONSTRUCTING FRAMING ABOVE BEARING WALLS. ** = LATERAL CLIPS REQUIRED; PROVIDE SIMPSON A35 CLIP AT EACH STUD ABOVE HEADER. REFERENCE TYPICAL DETAILS FOR CLIP LOCATION.

MARK	MATERIAL	WALL STUDS	COMMENTS
SPF4	SPF No. 2	(1) 2x4 AT 16"	
SPF6	SPF No. 2	(1) 2x6 AT 16"	

SCHEDULE - HEADERS

- NOTES:
- JAMB AND SILL STUDS TO MATCH TYPICAL WALL STUDS UNO.
- REQUIRED CLIPS WHERE NOTED, REFERENCE TYPICAL DETAILS FOR LOCATION:
- | LATERAL CLIPS | UPLIFT CLIPS |
|---------------------------------|--|
| L1: (1) A34 | U1: (1) H2.5A |
| L2: (1) A35 | U2: (2) H2.5A |
| L3: (2) A34, (2) STUDS REQUIRED | U3: (1) CS16 COIL STRAP |
| L4: (2) A35, (2) STUDS REQUIRED | U4: (2) CS16 COIL STRAPS (1) EACH FACE |

MARK	HEADER	COMMENTS
H2-8	(2) 2x8	
H2-10	(2) 2x10	
H3-8	(3) 2x8	
H3-12	(3) 2x12	
H3-16	(3) 1 1/2"x16" LVL	

SCHEDULE - JOISTS

MARK	JOISTS	SPACING	COMMENTS
J1	2x6	16"	CEILING JOISTS
J2	2x8	16"	
J3	2x10	16"	
J4	2x12	16"	
J5	2x12	16"	DOUBLE EVERY OTHER JOIST
J6	(2) 2x12	16"	

SCHEDULE - BEAMS

MARK	BEAM SIZE	COMMENTS
B1-10	2x10	
B2-6	(2) 2x6	
B2-7	(2) 1 1/2"x7 1/2" LVL	
B2-8	(2) 2x8	
B2-9.25	(2) 1 1/2"x9 1/2" LVL	
B2-10	(2) 2x10	
B2-11.25	(2) 1 1/2"x11 1/2" LVL	
B2-12	(2) 2x12	
B3-6	(3) 2x6	
B3-7	(3) 1 1/2"x7 1/2" LVL	
B3-8	(3) 2x8	
B3-9.25	(3) 1 1/2"x9 1/2" LVL	
B3-10	(3) 2x10	
B3-12	(3) 2x12	
B4-7	(4) 1 1/2"x7 1/2" LVL	

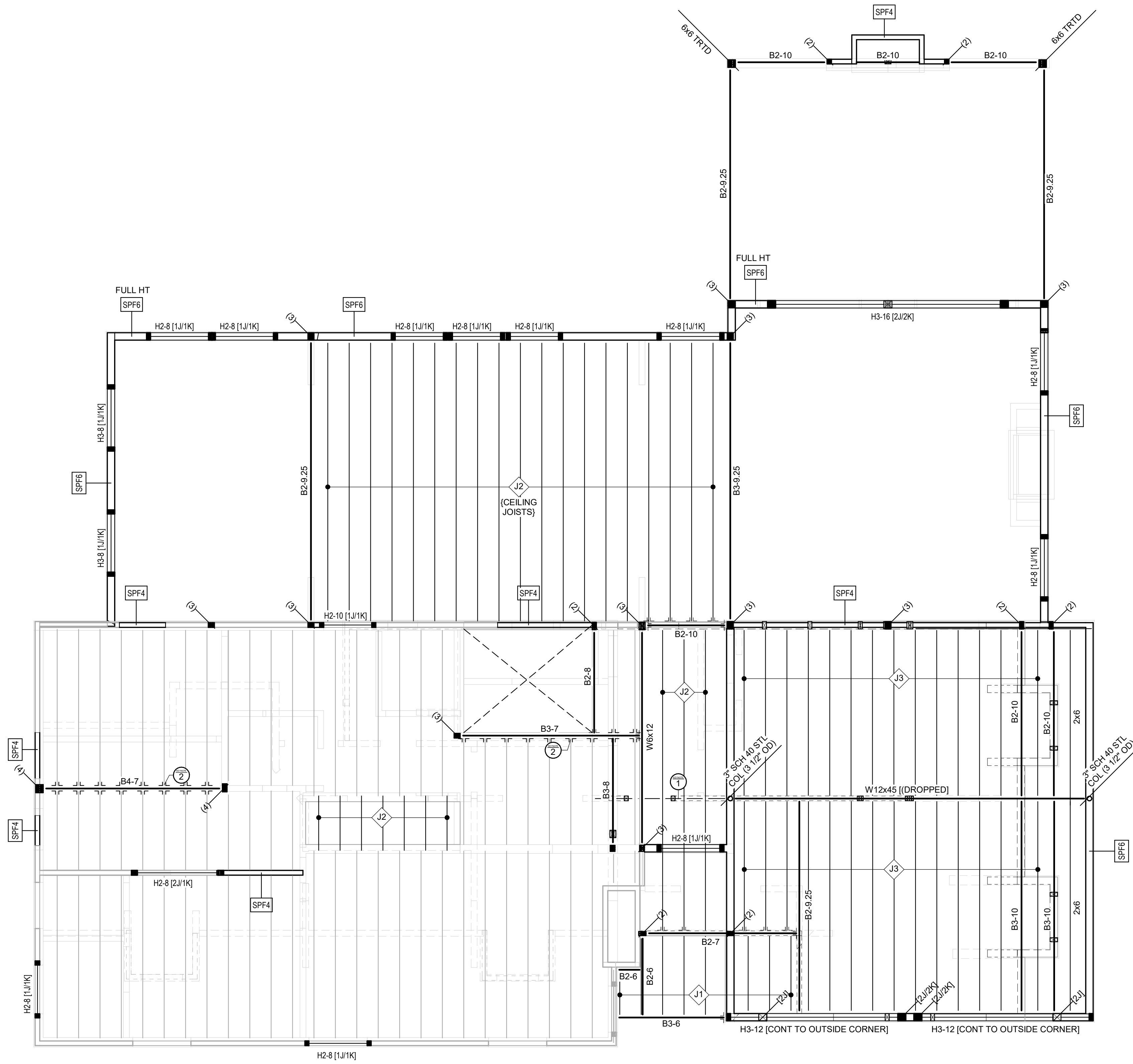
SCHEDULE - WOOD HANGERS

- NOTES:
- ALL HANGERS ARE SIMPSON PRODUCTS UNO.
 - ALL EXTERIOR HANGERS TO BE ZMAX OR GALVANIZED.
 - INSTALL ALL HANGERS PER MANUFACTURERS RECOMMENDATIONS.
 - AT ROOF AND DECK LOCATIONS, USE FACEMOUNT HANGERS UNO.
 - USE SCHEDULE UNO ON PLAN.
 - WHERE FACE-MOUNT HANGER HEADER/FACE FASTENER LENGTH IS GREATER THAN THICKNESS OF SUPPORT MEMBER, FASTENER MUST BE SUBSTITUTED RESPECTIVELY: 0.148" x 3" TO 0.148" x 2 1/2", 0.162" x 3 1/2" TO 0.162" x 2 1/2" PER SIMPSON MANUFACTURER REQUIREMENTS. EOR SHOULD BE NOTIFIED IF OTHER CONDITIONS EXISTS.

BEAM	FACE MOUNT HANGER	TOP FLANGE HANGER	CONCEALED HANGER
(2) 1 1/2"x7 1/2"	N/A	BA3.56X7.188	N/A
(3) 1 1/2"x7 1/2"	HGUS5.508	N/A	HUC88
(2) 1 1/2"x9 1/2"	LU410	ITS3.569.5	HUC410
(3) 1 1/2"x9 1/2"	LU410	ITS3.569.5	HUC410
(2) 1 1/2"x11 1/2"	HHUS48	BA3.5611.88	N/A
2x6	LUS26	JB26	LUC26Z
(2) 2x6	LUS26-2	HUS26-2TF	HUC26-2
(3) 2x6	LUS26-3	N/A	HUC26-3
2x8	LUS28	LB28	N/A
(2) 2x8	LUS28-2	HUS28-2TF	HUC26-2
(3) 2x8	LUS28-3	BA4.68X7.125	HUC26-3
2x10	LUS210	LB210AZ	N/A
(2) 2x10	LUS210-2	HUS210-2TF	HUC210-2
(3) 2x10	LUS210-3	HU210-3TF	HUC210-3
2x12	LUS210	LB212AZ	N/A
(2) 2x12	LUS210-2	HUS212-2TF	HUC212-2
(3) 2x12	LUS210-3	HU212-3TF	HUC212-3

SCHEDULE - KEYNOTE LEGEND

KEYNOTE	COMMENT
1	FULL HT BLOCKING BELOW LOAD-BEARING WALL ABOVE
2	CUT BACK EXISTING JOISTS AND ATTACH TO NEW BEAM WITH HANGER, REF SCHEDULE: TYP



SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"

PLAN NOTES - IRC BRACED WALLS

1. PANEL EDGE BLOCKING REQUIRED AT ALL BRACED WALL PANELS. CONTRACTOR OPTION TO INSTALL FULL-HEIGHT SHEATHING AT EACH FLOOR.
2. MIN 1/2" GYPSUM WALL BOARD INT FINISH REQUIRED AT ALL CS-WSP AND WSP BRACED WALLS.
3. REF DETAILING REQUIREMENTS FOR ABW, PFH, PFG, CS-PF BRACED WALL CONSTRUCTION.
4. WALLS 1'-0" OR LESS CONNECTING OFFSET BRACED WALL PANELS SHALL BE ATTCHED AT CORNERS WITH 3 1/2" 16d NAILS AT 12" OC.
5. WALLS 2'-0" OR LESS CONNECTING OFFSET BRACED WALL PANELS SHALL HAVE NOT FEWER THAN (1) ANCHOR WITHIN THE CENTER 1/3 OF THE SOLE PLATE.
6. GB, GYPSUM BOARD, 1/2" GYPSUM BOARD EA SIDE OF WALL. NAILS OR SCREWS PER GENERAL NOTES MAY BE USED. MAX FASTENER SPACING = 7" OC FOR BOTH EDGE AND FIELD FASTENERS.
7. LB METHOD: 1X4 WOOD FASTENED WITH (3) 8D COMMON NAILS OR SIMPSON/USP 16 GA TYPE WB (OR EQ) STEEL X-BRACE(S) AT 45 - 60 DEGREE ANGLES, MAX 16" OC STUD FASTENED PER MFR SPECIFICATIONS

IRC SCHEDULE - SHEATHING FASTENING

NOTES:
 A. NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS SHOWN: 80 KSI FOR SHANK DIAMETER OF 0.192 INCH (20D COMMON NAIL), 90 KSI FOR SHANK DIAMETERS LARGER THAN 0.142 INCH BUT NOT LARGER THAN 0.177 INCH, AND 100 KSI FOR SHANK DIAMETERS OF 0.142 INCH OR LESS.
 B. STAPLES ARE 16 GAUGE WIRE AND HAVE A MINIMUM 1/16-INCH ON DIAMETER CROWN WIDTH.
 C. NAILS SHALL BE SPACED AT NOT MORE THAN 6 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.
 D. FOUR-FOOT BY 8-FOOT OR 4-FOOT BY 9-FOOT PANELS SHALL BE APPLIED VERTICALLY.
 E. SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(2).
 F. FOR WOOD STRUCTURAL PANEL ROOF SHEATHING ATTACHED TO GABLE END ROOF FRAMING AND TO INTERMEDIATE SUPPORTS WITHIN 48 INCHES OF ROOF EDGES AND RIDGES, NAILS SHALL BE SPACED AT 6 INCHES ON CENTER WHERE THE ULTIMATE DESIGN WIND SPEED IS LESS THAN 130 MPH AND SHALL BE SPACED 4 INCHES ON CENTER WHERE THE ULTIMATE DESIGN WIND SPEED IS 130 MPH OR GREATER BUT LESS THAN 140 MPH.
 G. GYPSUM SHEATHING SHALL CONFORM TO ASTM C1396 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 263. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C208.
 H. SHEATHING AND ATTACHMENTS SHOWN IN THIS SCHEDULE APPLY TO TYPICAL APPLICATIONS ONLY. REF BRACED WALL AND SHEAR WALL PLANS FOR ADDITIONAL SHEATHING AND NAILING REQUIREMENTS.
 I. WHERE GYP BOARD IS APPLIED VERTICALLY PROVIDE BLOCKING AT ALL HORIZONTAL EDGES.

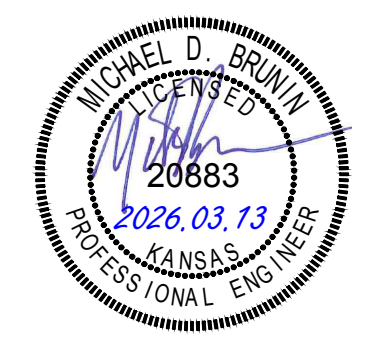
TYPE	SHEATHING TYPE	ATTACHMENT	BLOCKED
TYPICAL WALL APPLICATION			
EXTERIOR	7/16" APA RATED WSP, EXP. 1, 24/16 SPAN RATING	8d [6" OC / 12" OC]	No
INTERIOR	MIN 1/2" GYPSUM BOARD	#6 x 1 1/4" TYPE W SCREWS [16" OC / 16" OC]	No
BRACED WALL APPLICATION			
WSP / CS-WSP	7/16" APA RATED WSP, EXP. 1, 24/16 SPAN RATING	8d [6" OC / 12" OC]	Yes
PFH	7/16" APA RATED WSP, EXP. 1, 24/16 SPAN RATING	REF BRACED WALL DETAILS	Yes
TYPICAL FLOOR / ROOF APPLICATION			
ROOF	7/16" APA RATED WSP, EXP. 1, 24/16 SPAN RATING	8d X 2 1/2" [6" OC / 12" OC]	No
FLOOR	3/4" (NOMINAL) T&G EXPOSURE 1 APA RATED, 48/24 SPAN RATING	8d X 2 1/2" [6" OC / 12" OC] & CONSTRUCTION ADHESIVE	No



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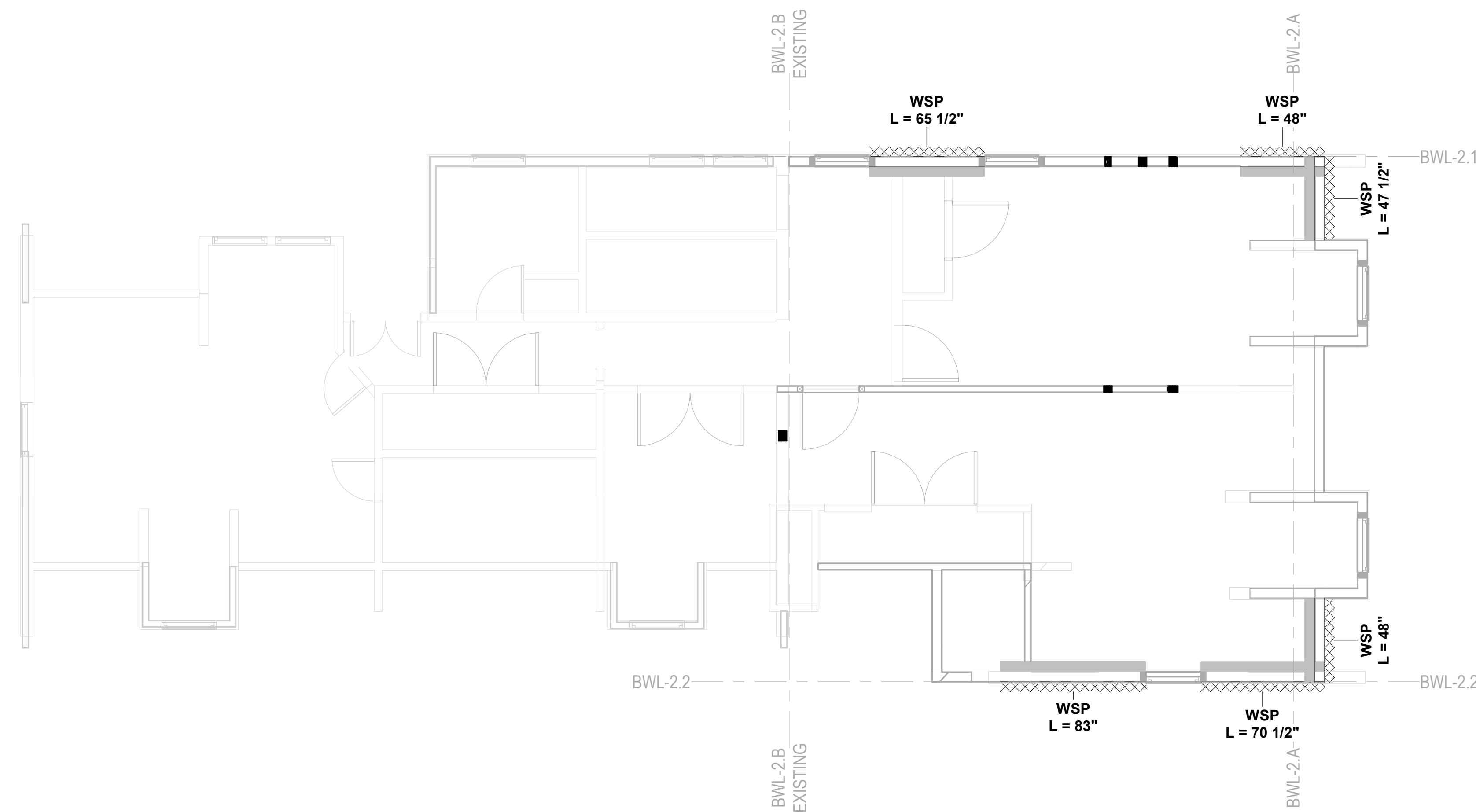
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 APEX # 25-2608

PROJECT NUMBER 2025-37

SECOND FLOOR SHEAR WALL PLAN

S213

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SECOND FLOOR SHEAR WALL PLAN

1/4" = 1'-0"

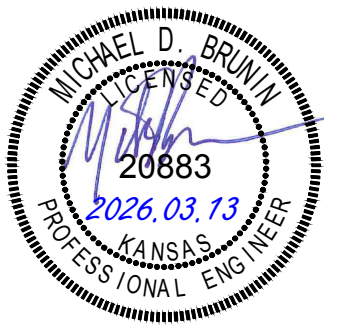
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PROJECT NUMBER 2025-37

SECOND FLOOR CEILING FRAMING PLAN

S214

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PLAN NOTES - WOOD FLOOR FRAMING

1. REF "LOADING DIAGRAMS" SHEET AND TRANSFER LOAD SCHEDULE FOR DESIGN LOADS.
2. WOOD COLUMNS AND STUD PACKS TO BE CONTINUOUS DOWN TO FOUNDATION OR STEEL FRAMING. PROVIDE BLOCKING AS REQUIRED TO MAINTAIN CONTINUITY.
3. ALL WOOD BEAMS ARE FLUSH, UNO.
4. REF PLANS FOR TOP OF STEEL BEAM ELEVATIONS.
5. REF ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, FINISHES, AND ADDITIONAL NOTES.
6. CONTRACTOR SHALL COORDINATE SIZE AND LOCATION OF OPENINGS WITH MEP AND ARCHITECTURAL DRAWINGS.
7. REF GENERAL NOTES AND SPECIFICATIONS FOR SYMBOLS, ABBREVIATIONS, AND ADDITIONAL SPECIFICATIONS.

SCHEDULE - WOOD WALLS

- NOTES:
1. WALL SOLE PLATE ATTACHMENT, UNO: 1/2" DIA CAST-IN-PLACE ANCHORS WITH 7" EMBED AT 32" OC ATTACHMENT TO CONCRETE OR (2) ROWS OF 16d NAILS AT 16" OC STAGGERED WHEN FASTENING TO WOOD.
 2. REFERENCE SHEAR WALL SCHEDULE FOR ADDITIONAL NAILING REQUIREMENTS.
 3. PROVIDE WALL STUD BLOCKING AT 4'-0" OC MAX FOR ALL WALLS SUPPORTING (2) OR MORE WALLS ABOVE.
 4. INSTALL WALL BLOCKING PRIOR TO CONSTRUCTING FRAMING ABOVE BEARING WALLS.
- ** = LATERAL CLIPS REQUIRED; PROVIDE SIMPSON A35 CLIP AT EACH STUD ABOVE HEADER, REFERENCE TYPICAL DETAILS FOR CLIP LOCATION.

MARK	MATERIAL	WALL STUDS	COMMENTS
SPF4	SPF No. 2	(1) 2x4 AT 16"	
SPF6	SPF No. 2	(1) 2x6 AT 16"	

SCHEDULE - HEADERS

- NOTES:
1. JAMB AND SILL STUDS TO MATCH TYPICAL WALL STUDS UNO.
- REQUIRED CLIPS WHERE NOTED, REFERENCE TYPICAL DETAILS FOR LOCATION:
- | LATERAL CLIPS | UPLIFT CLIPS |
|---------------------------------|--|
| L1: (1) A34 | U1: (1) H2.5A |
| L2: (1) A35 | U2: (2) H2.5A |
| L3: (2) A34, (2) STUDS REQUIRED | U3: (1) CS16 COIL STRAP |
| L4: (2) A35, (2) STUDS REQUIRED | U4: (2) CS16 COIL STRAPS (1) EACH FACE |

MARK	HEADER	COMMENTS
H2-8	(2) 2x8	
H2-10	(2) 2x10	
H3-8	(3) 2x8	
H3-12	(3) 2x12	
H3-16	(3) 1 1/2"x16" LVL	

SCHEDULE - JOISTS

MARK	JOISTS	SPACING	COMMENTS
J1	2x6	16"	CEILING JOISTS
J2	2x8	16"	
J3	2x10	16"	
J4	2x12	16"	
J5	2x12	16"	DOUBLE EVERY OTHER JOIST
J6	(2) 2x12	16"	

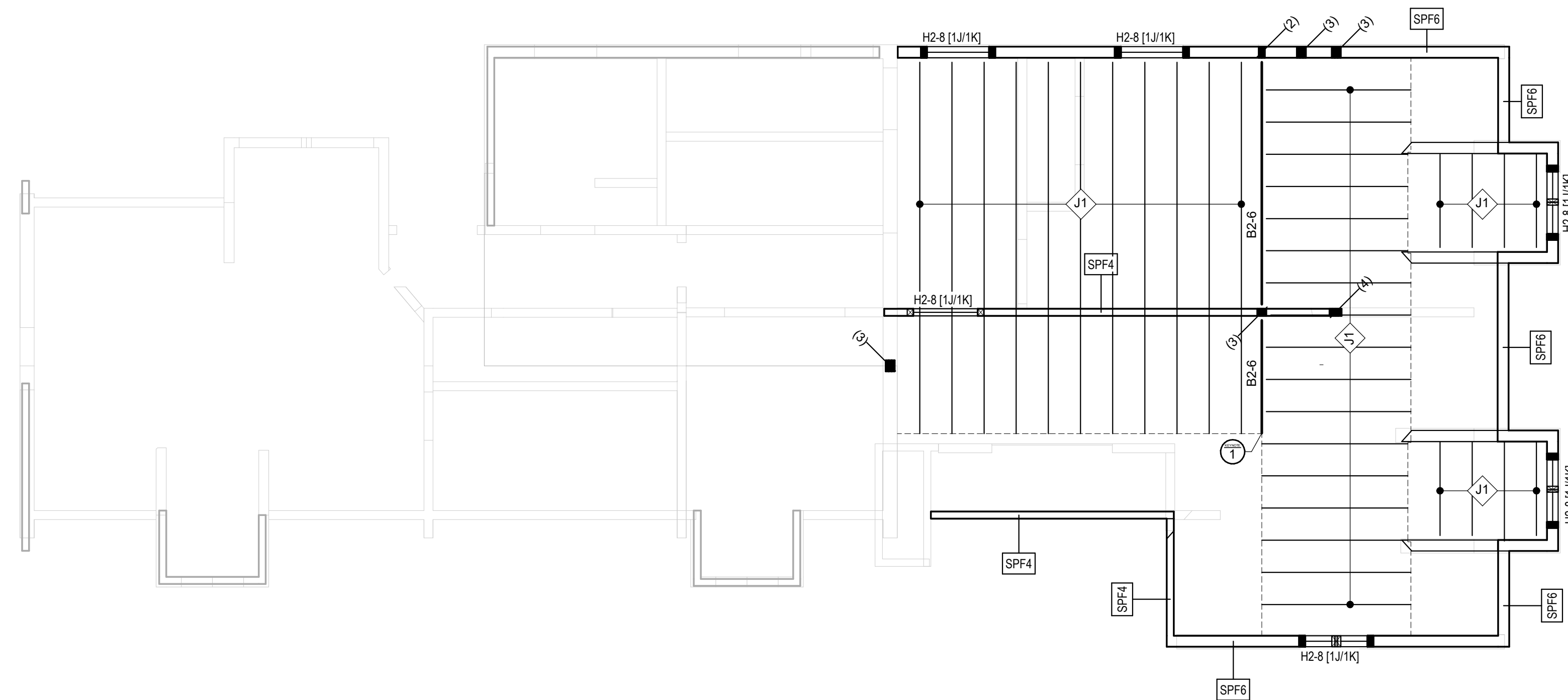
SCHEDULE - BEAMS

MARK	BEAM SIZE	COMMENTS
B1-10	2x10	
B2-6	(2) 2x6	
B2-7	(2) 1 1/2"x7 1/2" LVL	
B2-8	(2) 2x8	
B2-9.25	(2) 1 1/2"x9 1/2" LVL	
B2-10	(2) 2x10	
B2-11.25	(2) 1 1/2"x11 1/2" LVL	
B2-12	(2) 2x12	
B3-6	(3) 2x6	
B3-7	(3) 1 1/2"x7 1/2" LVL	
B3-8	(3) 2x8	
B3-9.25	(3) 1 1/2"x9 1/2" LVL	
B3-10	(3) 2x10	
B3-12	(3) 2x12	
B4-7	(4) 1 1/2"x7 1/2" LVL	

SCHEDULE - WOOD HANGERS

- NOTES:
1. ALL HANGERS ARE SIMPSON PRODUCTS UNO.
 2. ALL EXTERIOR HANGERS TO BE ZMAX OR GALVANIZED.
 3. INSTALL ALL HANGERS PER MANUFACTURERS RECOMMENDATIONS.
 4. AT ROOF AND DECK LOCATIONS, USE FACEMOUNT HANGERS UNO.
 5. USE SCHEDULE UNO ON PLAN.
 6. WHERE FACE-MOUNT HANGER HEADER/FACE FASTENER LENGTH IS GREATER THAN THICKNESS OF SUPPORT MEMBER, FASTENER MUST BE SUBSTITUTED RESPECTIVELY: 0.148" x 3" TO 0.148" x 2 1/2", 0.162" x 3 1/2" TO 0.162" x 2 1/2" PER SIMPSON MANUFACTURER REQUIREMENTS. EOR SHOULD BE NOTIFIED IF OTHER CONDITIONS EXISTS.

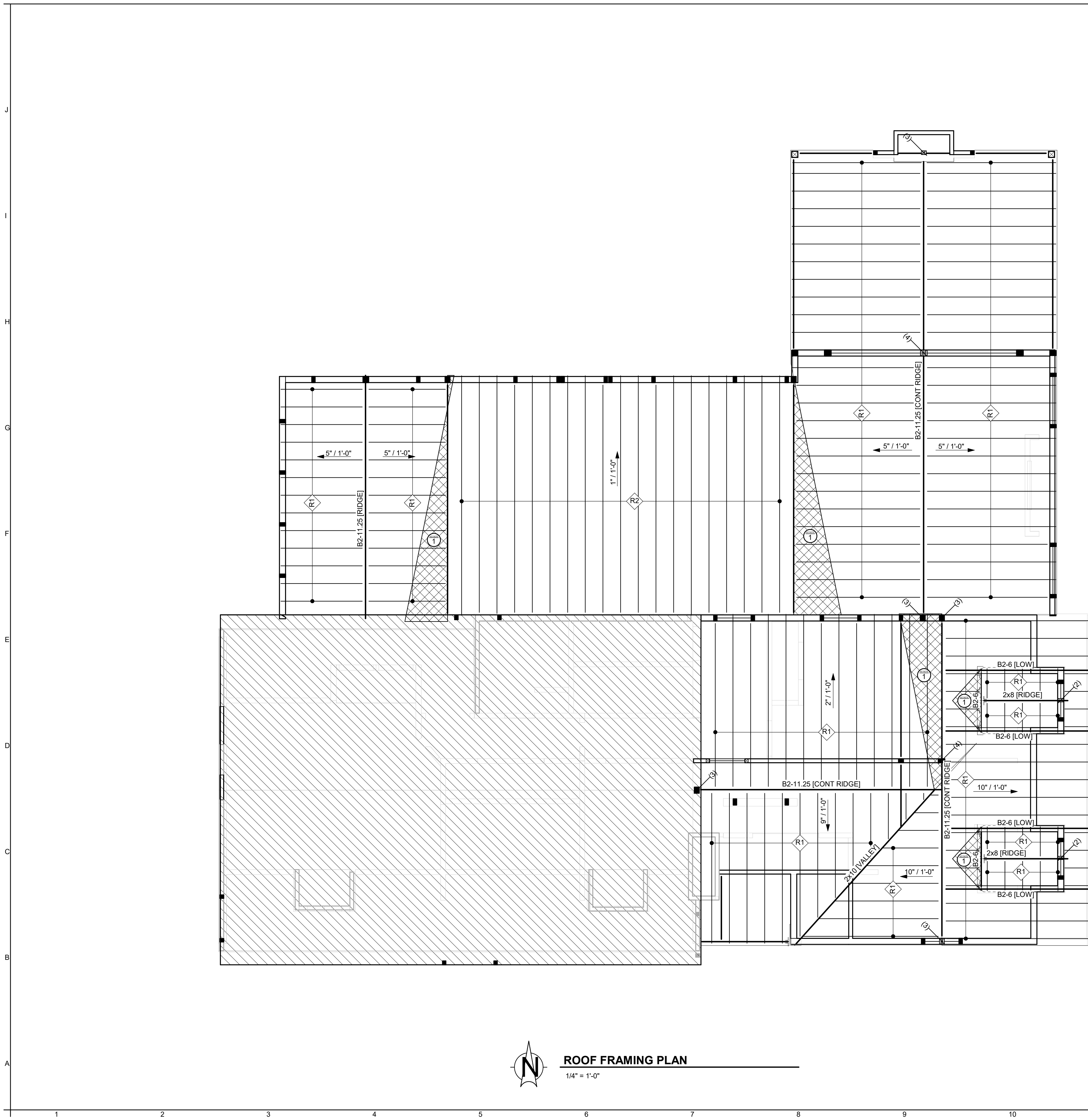
BEAM	FACE MOUNT HANGER	TOP FLANGE HANGER	CONCEALED HANGER
(2) 1 1/2"x7 1/2"	N/A	BA3.56X7.188	N/A
(3) 1 1/2"x7 1/2"	HGUS5.508	N/A	HUC88
(2) 1 1/2"x9 1/2"	U410	ITS3.569.5	HUC410
(3) 1 1/2"x9 1/2"	U410	ITS3.569.5	HUC410
(2) 1 1/2"x11 1/2"	HHUS48	BA3.5611.88	N/A
2x6	LUS26	JB26	LUC26Z
(2) 2x6	LUS26-2	HUS26-2TF	HUC26-2
(3) 2x6	LUS26-3	N/A	HUC26-3
2x8	LUS28	LB28	N/A
(2) 2x8	LUS28-2	HUS28-2TF	HUC26-2
(3) 2x8	LUS28-3	BA4.68X7.125	HUC26-3
2x10	LUS210	LB210AZ	N/A
(2) 2x10	LUS210-2	HUS210-2TF	HUC210-2
(3) 2x10	LUS210-3	HU210-3TF	HUC210-3
2x12	LUS210	LB212AZ	N/A
(2) 2x12	LUS210-2	HUS212-2TF	HUC212-2
(3) 2x12	LUS210-3	HU212-3TF	HUC212-3



SECOND FLOOR CEILING FRAMING PLAN

1/4" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12 13 14



PLAN NOTES - STICK FRAMED ROOFS

BRACE MEMBERS	MAX TOTAL LENGTH
(2) 2x4	8'-0"
(1) 2x4 AND (1) 2x6	12'-0"
(1) 2x4 AND (1) 2x8	20'-0"
(2) 2x6 AND (1) 2x8	30'-0"
CONSULT ARCH ENGR	>30'-0"

1. ROOF BRACES ARE AT 4'-0" OC.
2. ROOF BRACES SHALL BE INSTALLED AT NOT LESS THAN A 45 DEGREE ANGLE WITH THE HORIZONTAL.
3. ALL ROOF BRACES SHALL HAVE A MAX UNBRACED LENGTH OF 8'-0".
4. ROOF BRACES SHALL BE CONSTRUCTED IN A "T" CONFIGURATION AND PER THE CHART ABOVE.
5. EACH END OF ROOF BRACE SHALL BE FASTENED WITH MIN (3) 8d OR (2) 16d NAILS.
6. ROOF CONSTRUCTION: REFERENCE ARCHITECTURAL DRAWINGS FOR ROOF MATERIAL, WATERPROOFING MEMBRANE, AND INSULATION.
7. REFERENCE GENERAL NOTES FOR ADDITIONAL SPECIFICATIONS.
8. REFERENCE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, FINISHES, AND ADDITIONAL NOTES.

SCHEDULE - RAFTERS

MARK	RAFTERS	SPACING	COMMENTS
R1	2x6 RAFTER	16"	
R2	2x8 RAFTER	16"	

SCHEDULE - BEAMS

MARK	BEAM SIZE	COMMENTS
B1-10	2x10	
B2-6	(2) 2x6	
B2-7	(2) 1 1/2"x7 1/2" LVL	
B2-8	(2) 2x8	
B2-9.25	(2) 1 1/2"x9 1/2" LVL	
B2-10	(2) 2x10	
B2-11.25	(2) 1 1/2"x11 1/2" LVL	
B2-12	(2) 2x12	
B3-6	(3) 2x6	
B3-7	(3) 1 1/2"x7 1/2" LVL	
B3-8	(3) 2x8	
B3-9.25	(3) 1 1/2"x9 1/2" LVL	
B3-10	(3) 2x10	
B3-12	(3) 2x12	
B4-7	(4) 1 1/2"x7 1/2" LVL	

SCHEDULE - WOOD HANGERS

- NOTES:
1. ALL HANGERS ARE SIMPSON PRODUCTS UNO.
 2. ALL EXTERIOR HANGERS TO BE ZMAX OR GALVANIZED.
 3. INSTALL ALL HANGERS PER MANUFACTURER'S RECOMMENDATIONS.
 4. AT ROOF AND DECK LOCATIONS, USE FACEMOUNT HANGERS UNO.
 5. USE SCHEDULE UNO ON PLAN.
 6. WHERE FACE-MOUNT HANGER HEADER/FACE FASTENER LENGTH IS GREATER THAN THICKNESS OF SUPPORT MEMBER, FASTENER MUST BE SUBSTITUTED RESPECTIVELY: 0.148" x 3" TO 0.148" x 2 1/2", 0.162" x 3 1/2" TO 0.162" x 2 1/2" PER SIMPSON MANUFACTURER REQUIREMENTS. EOR SHOULD BE NOTIFIED IF OTHER CONDITIONS EXISTS.

BEAM	FACE MOUNT HANGER	TOP FLANGE HANGER	CONCEALED HANGER
(2) 1 1/2"x7 1/2"	N/A	BA3.56X7.188	N/A
(3) 1 1/2"x7 1/2"	HJUS5.50/8	N/A	HUC68
(2) 1 1/2"x9 1/2"	U410	ITS3.56/9.5	HUC410
(3) 1 1/2"x9 1/2"	U410	ITS3.56/9.5	HUC410
(2) 1 1/2"x11 1/2"	HHUS48	BA3.56/11.88	N/A
2x6	LUS26	JB26	LLUC26Z
(2) 2x6	LUS26-2	HUS26-2TF	HUC26-2
(3) 2x6	LUS26-3	N/A	HUC26-3
2x8	LUS28	LB28	N/A
(2) 2x8	LUS28-2	HUS28-2TF	HUC26-2
(3) 2x8	LUS28-3	BA4.68X7.125	HUC26-3
2x10	LUS210	LB210AZ	N/A
(2) 2x10	LUS210-2	HUS210-2TF	HUC210-2
(3) 2x10	LUS210-3	HUS210-3TF	HUC210-3
2x12	LUS210	LB212AZ	N/A
(2) 2x12	LUS210-2	HUS212-2TF	HUC212-2
(3) 2x12	LUS210-3	HUS212-3TF	HUC212-3

SCHEDULE - KEYNOTE LEGEND

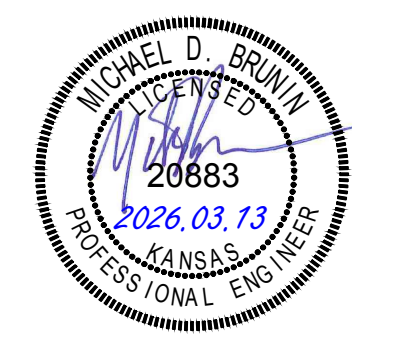
KEYNOTE	COMMENT
1	HATCH INDICATES OVERFRAMING BY GC



TRAKAS AND TRAKAS ARCHITECT
 1600 GENESSEE ST. STE 837
 KANSAS CITY, MO 64102
 WILLIAM@TRAKASTRAKAS.COM

APEX ENGINEERS, INC. STRUCTURAL
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 MIKE@APEX-ENGINEERS.COM

TOWNSLEY, TRAVIS OWNER
 TOWNSLEY, JESSICA
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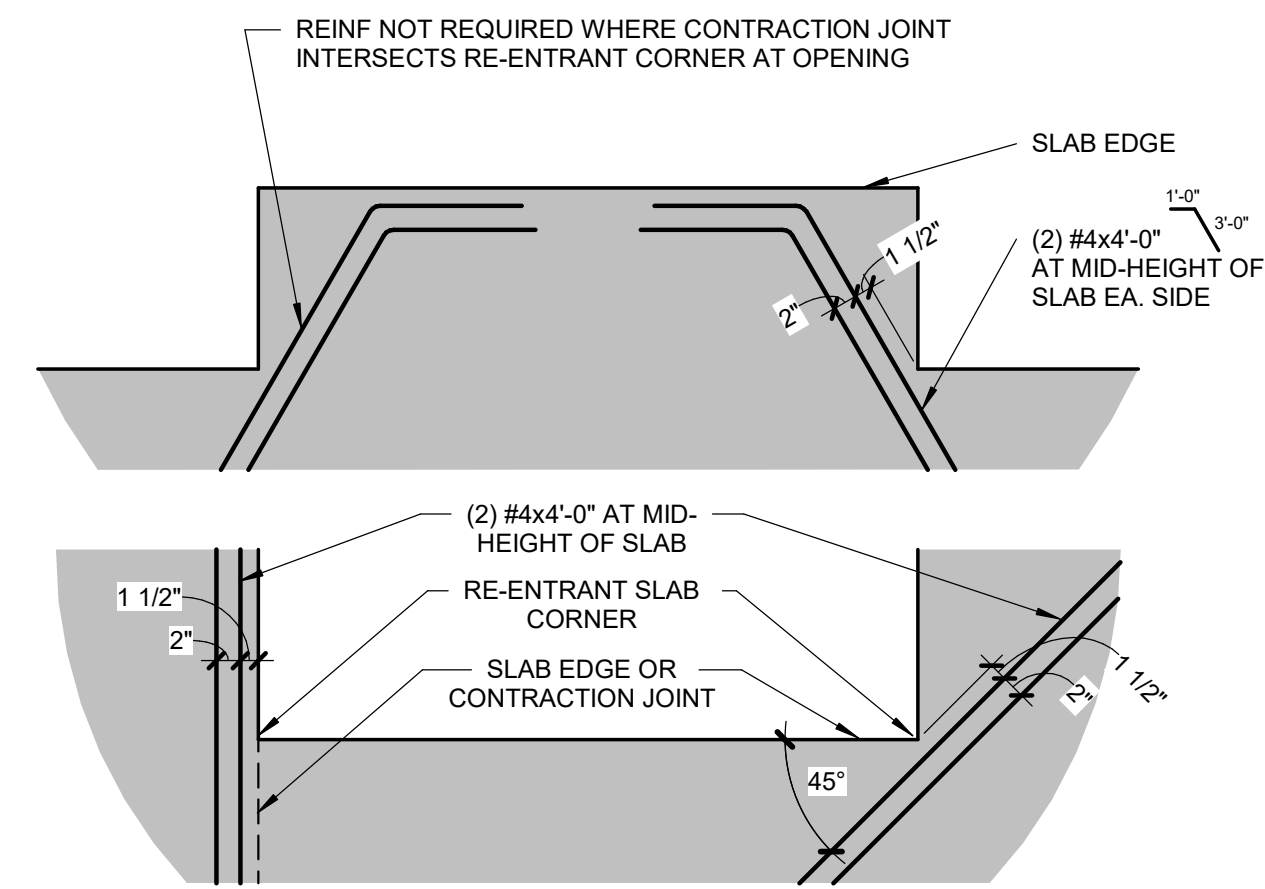


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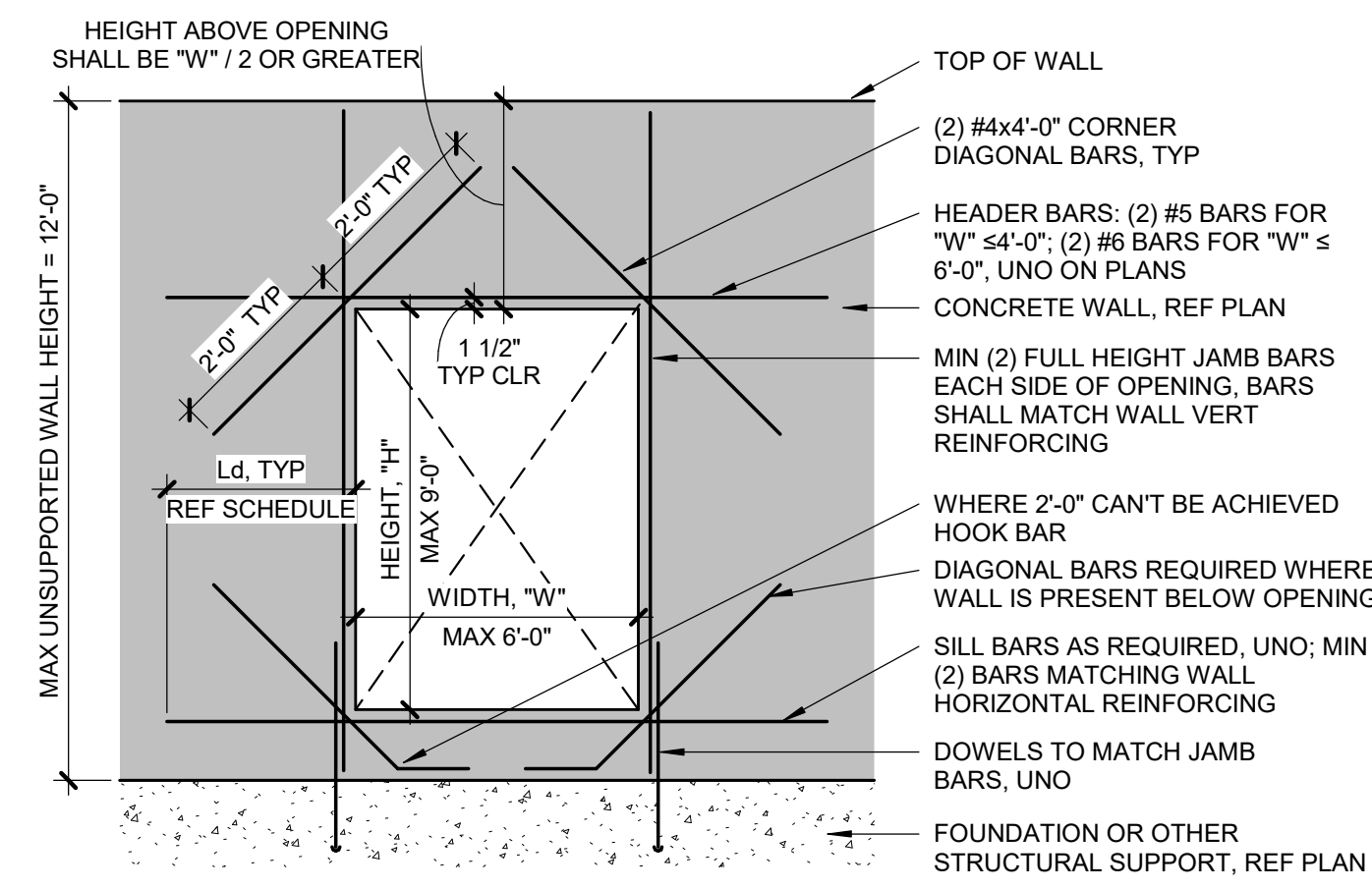
ROOF FRAMING PLAN

S220

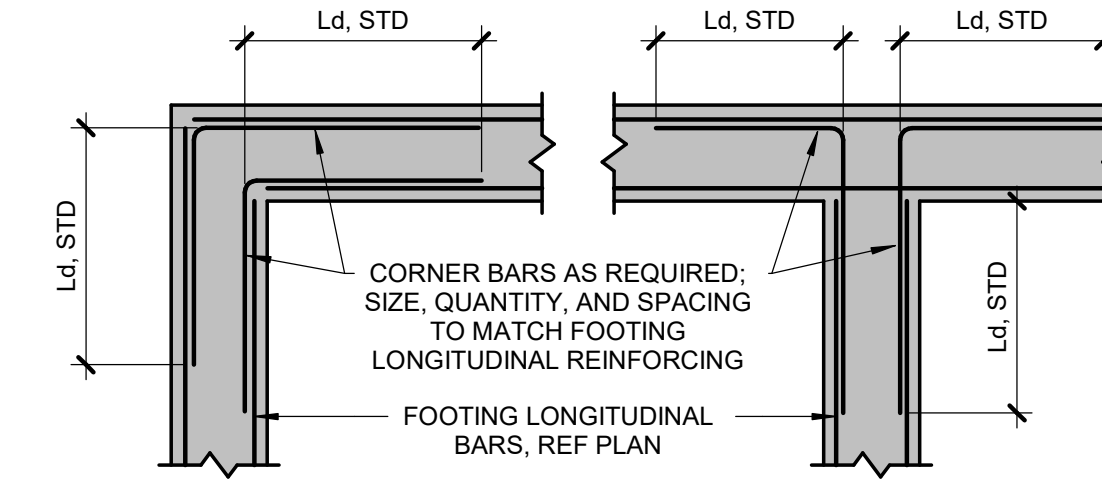
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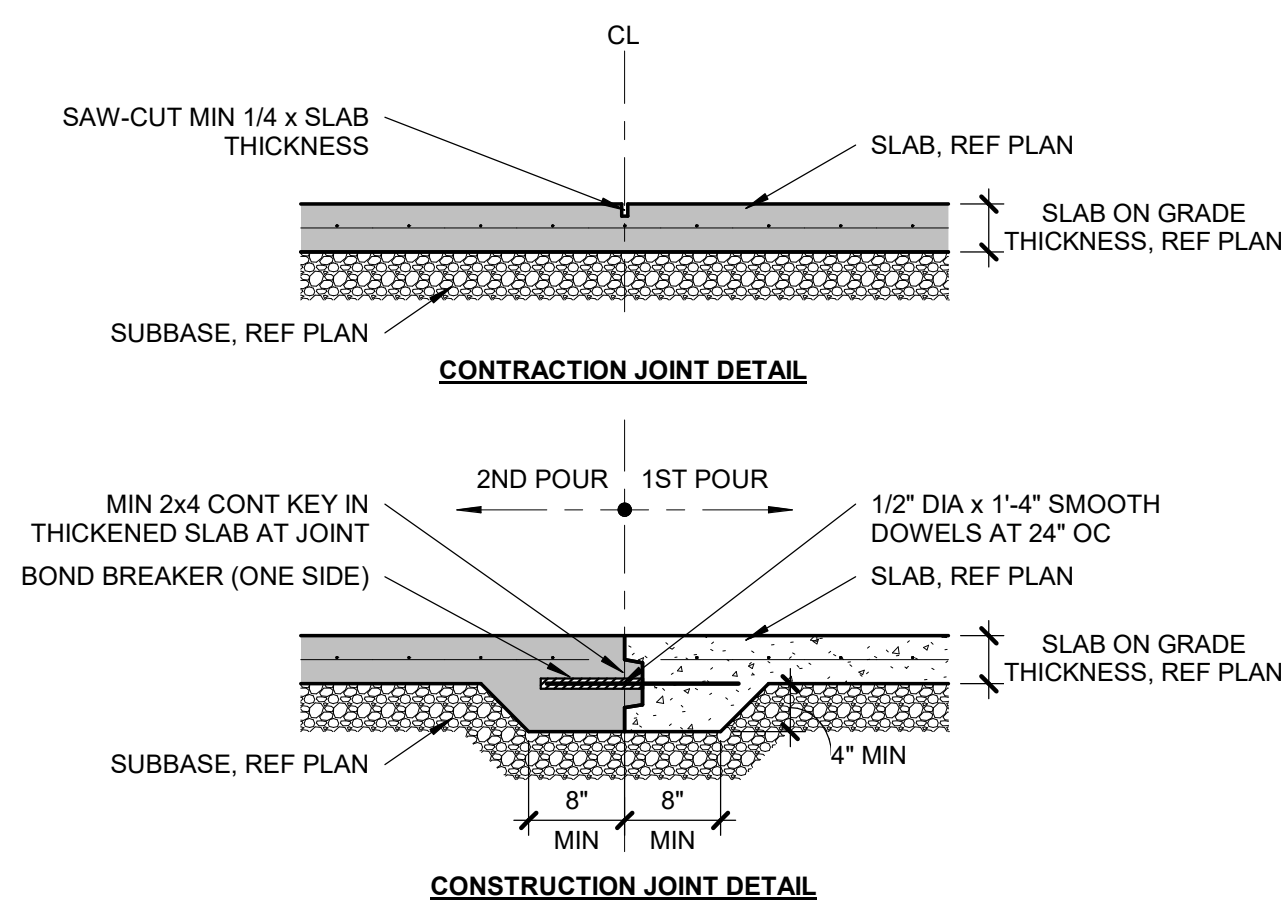
12 TYPICAL RE-ENTRANT CORNER IN CONCRETE SLAB ON GRADE
S500 NOT TO SCALE
THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



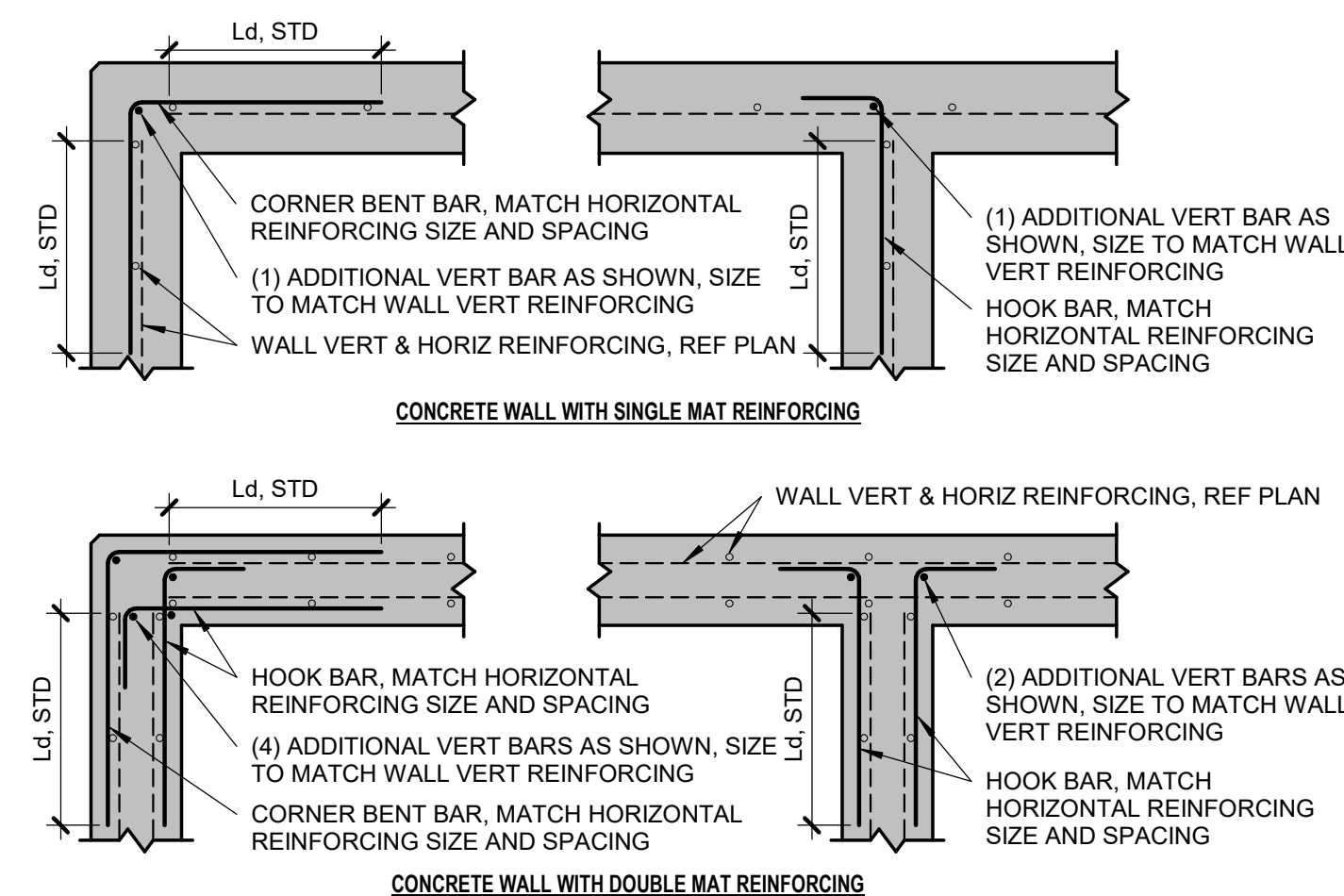
6 TYPICAL OPENING IN CONCRETE WALL
S500 NOT TO SCALE
THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



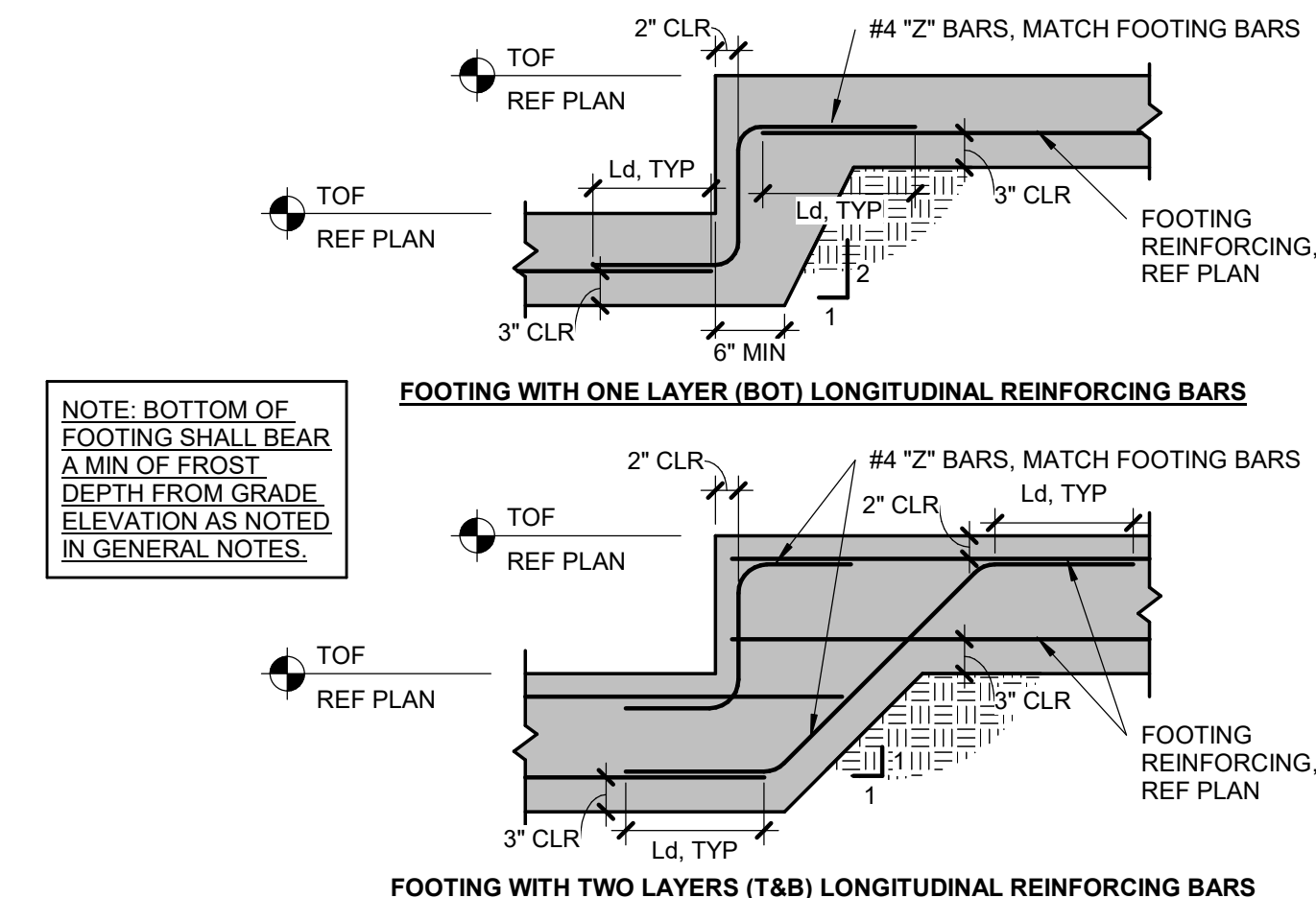
3 TYPICAL FOOTING CORNER DETAIL
S500 NOT TO SCALE
THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



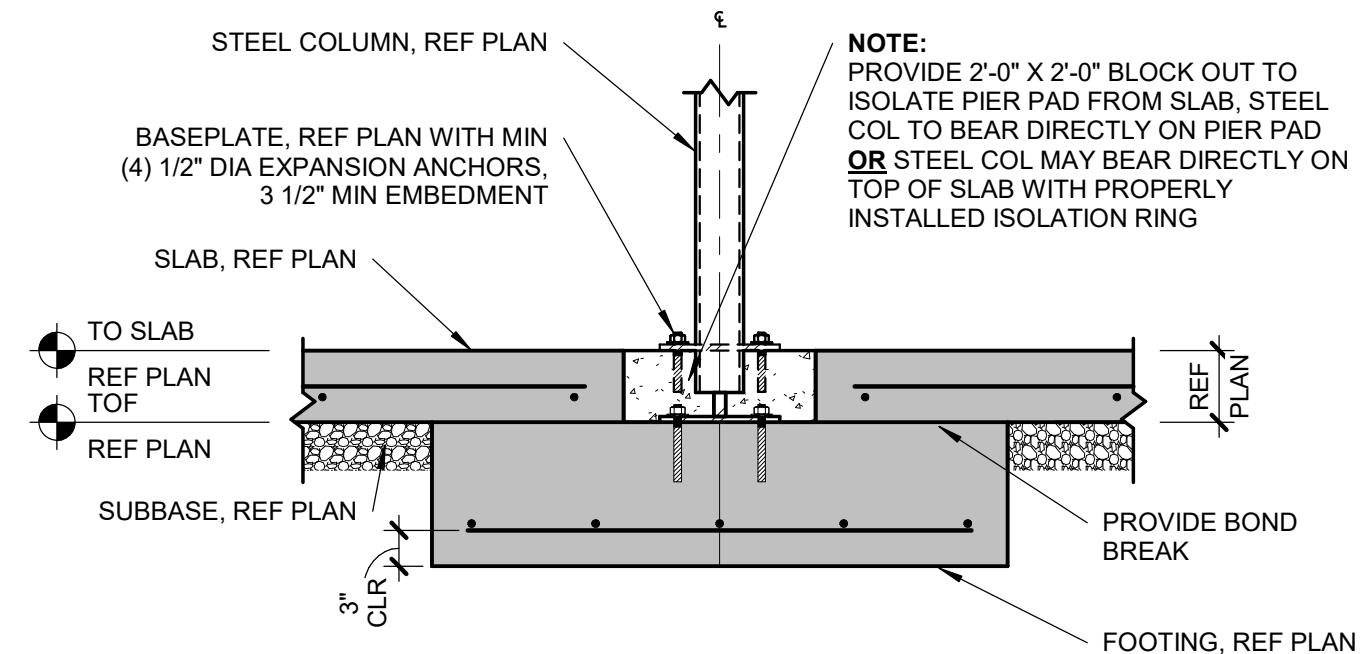
8 SLAB ON GRADE CONTROL JOINT
S500 NOT TO SCALE
THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



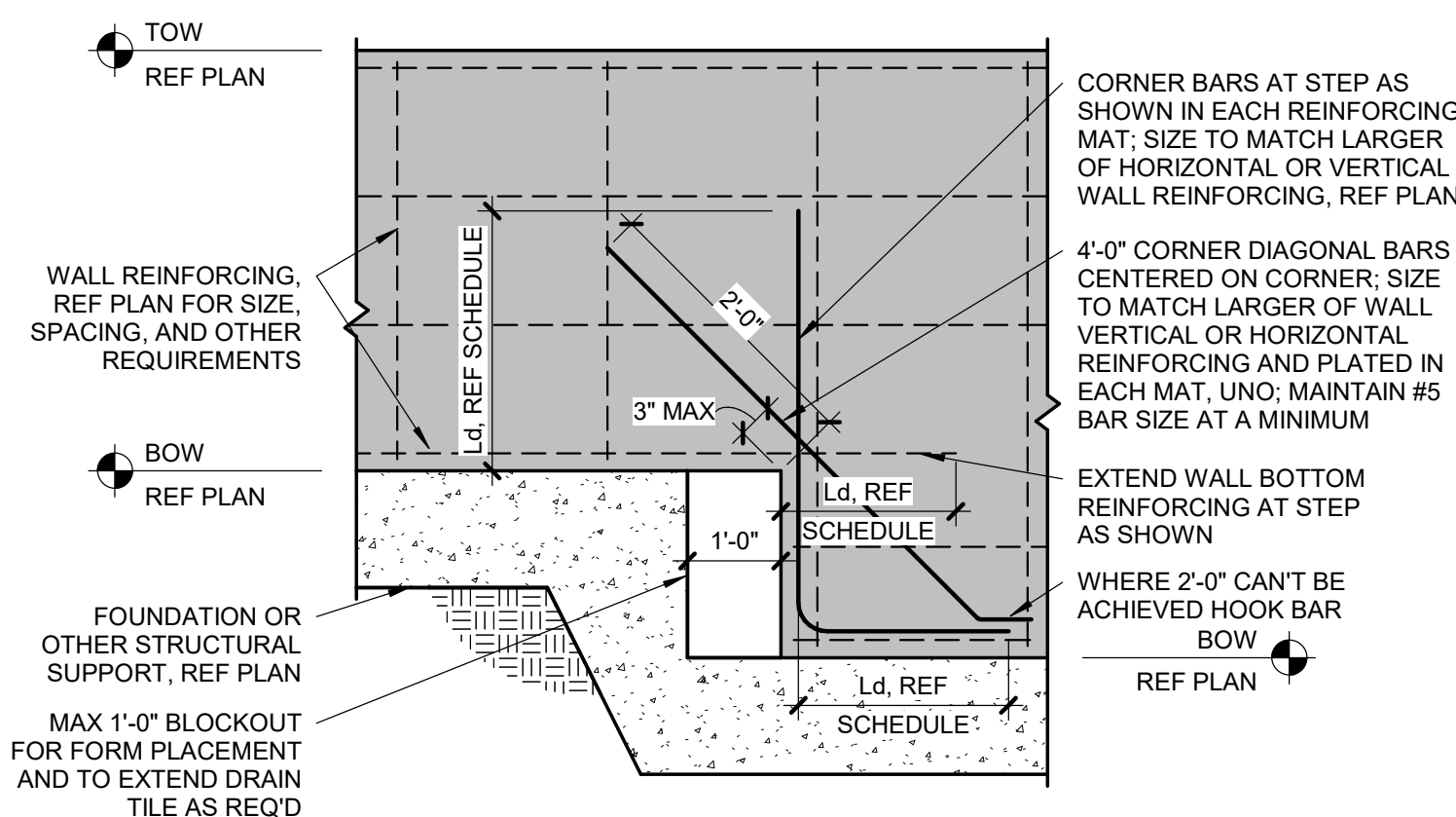
5 TYPICAL CONCRETE WALL CORNER REINFORCING
S500 NOT TO SCALE
THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



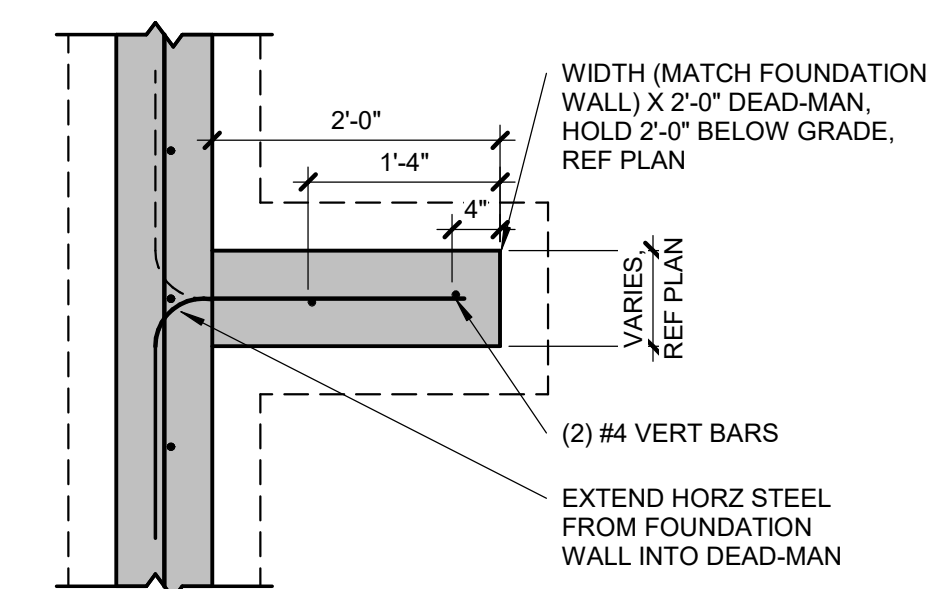
2 TYPICAL FOOTING STEP
S500 3/4" = 1'-0"



7 COLUMN PAD DETAIL
S500 NOT TO SCALE
THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



4 TYPICAL CONCRETE WALL STEP
S500 NOT TO SCALE
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1 TYPICAL DEAD-MAN SECTION
S500 3/4" = 1'-0"



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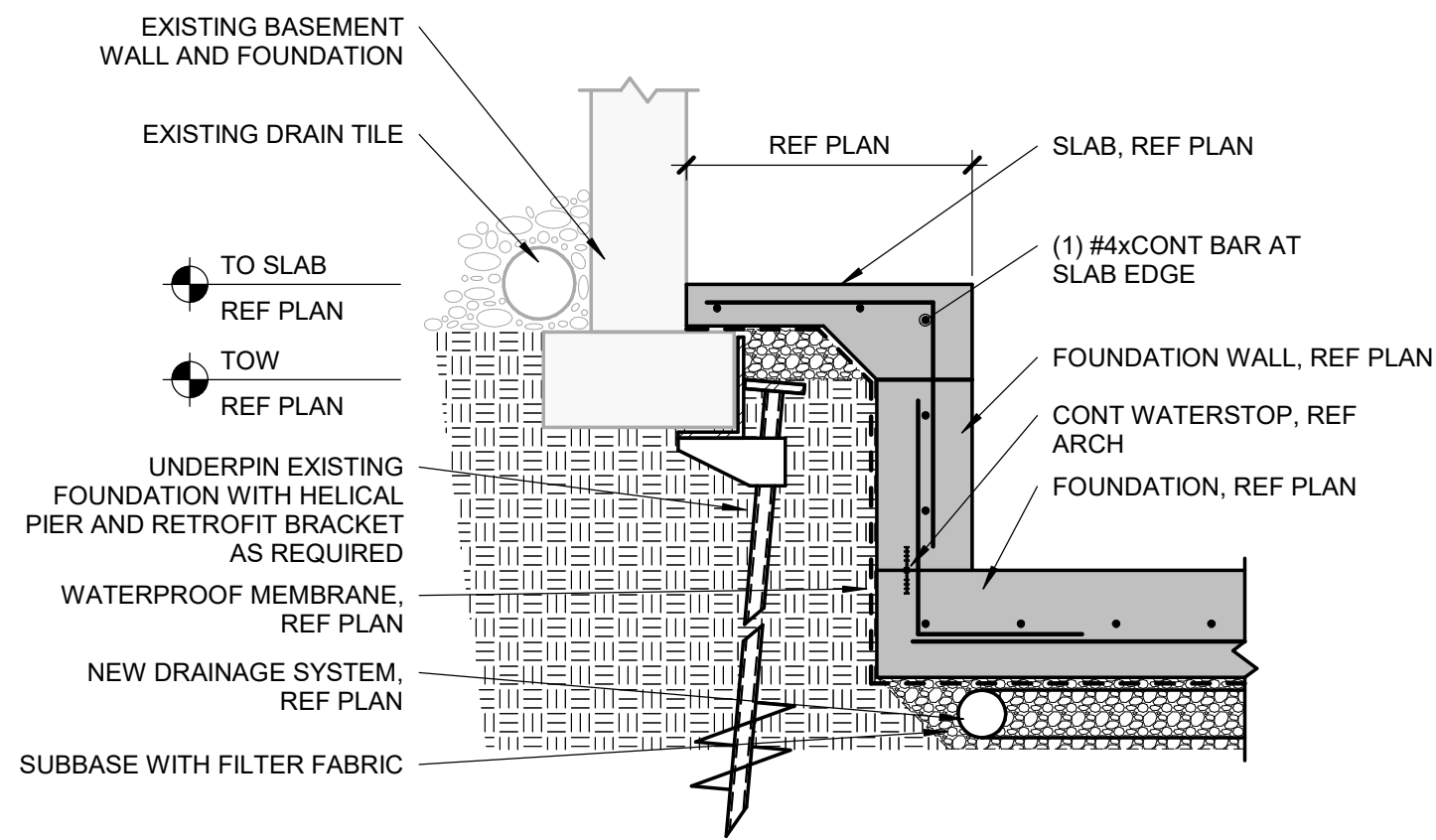
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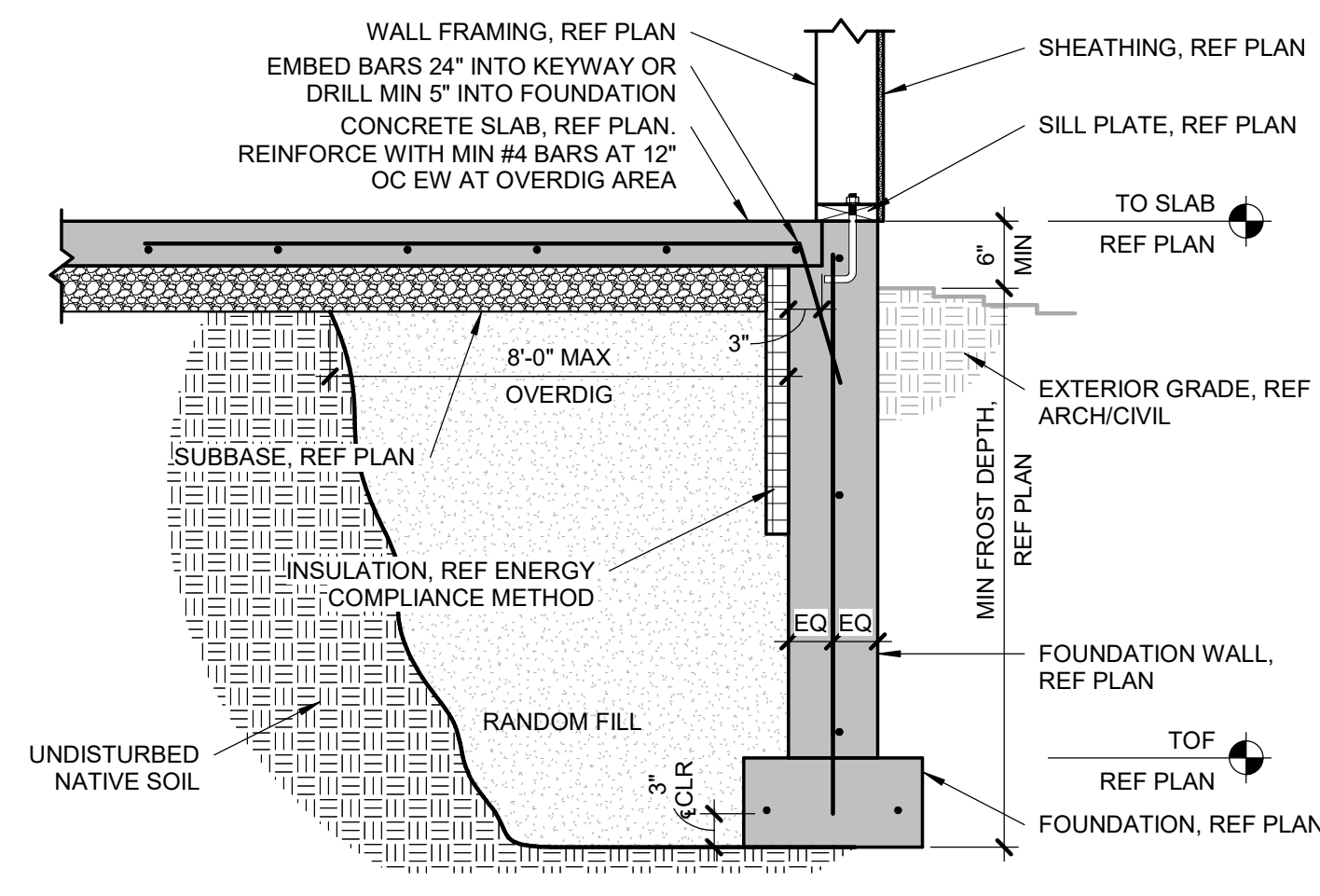
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FOUNDATION DETAILS

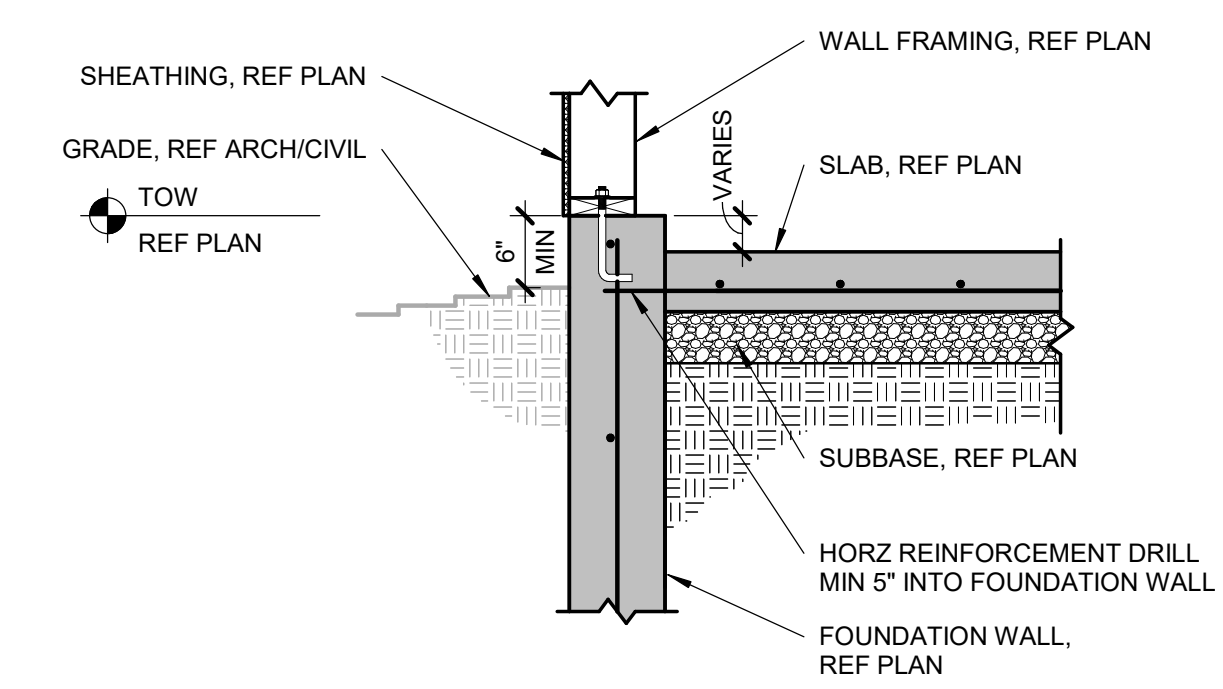
S500



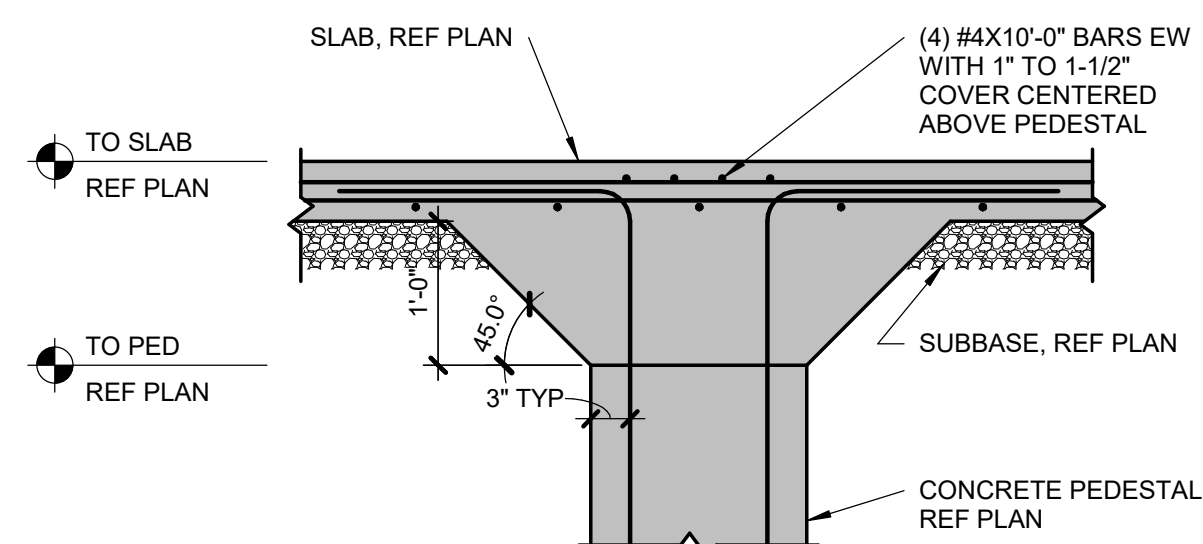
9 DROPPED SLAB AT BASEMENT WALL - INTERIOR UNDERPINNED FOOTING
S501 3/4" = 1'-0"



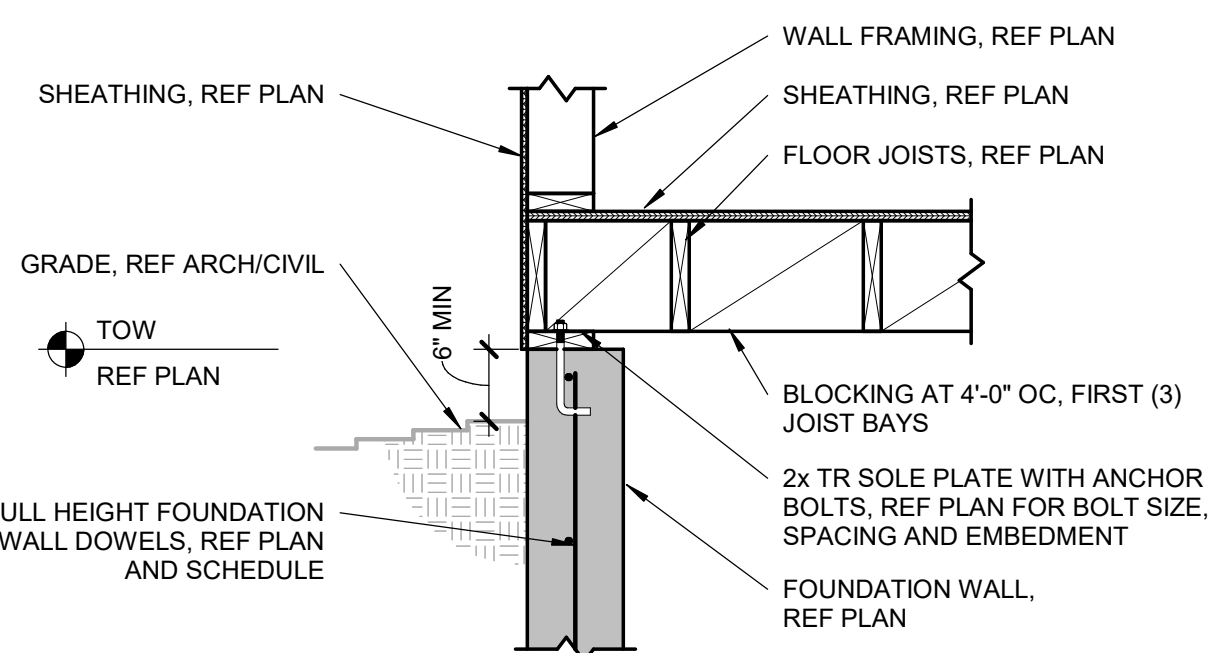
6 TYPICAL OVERDIG DETAIL AT BASEMENT SLAB
S501 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



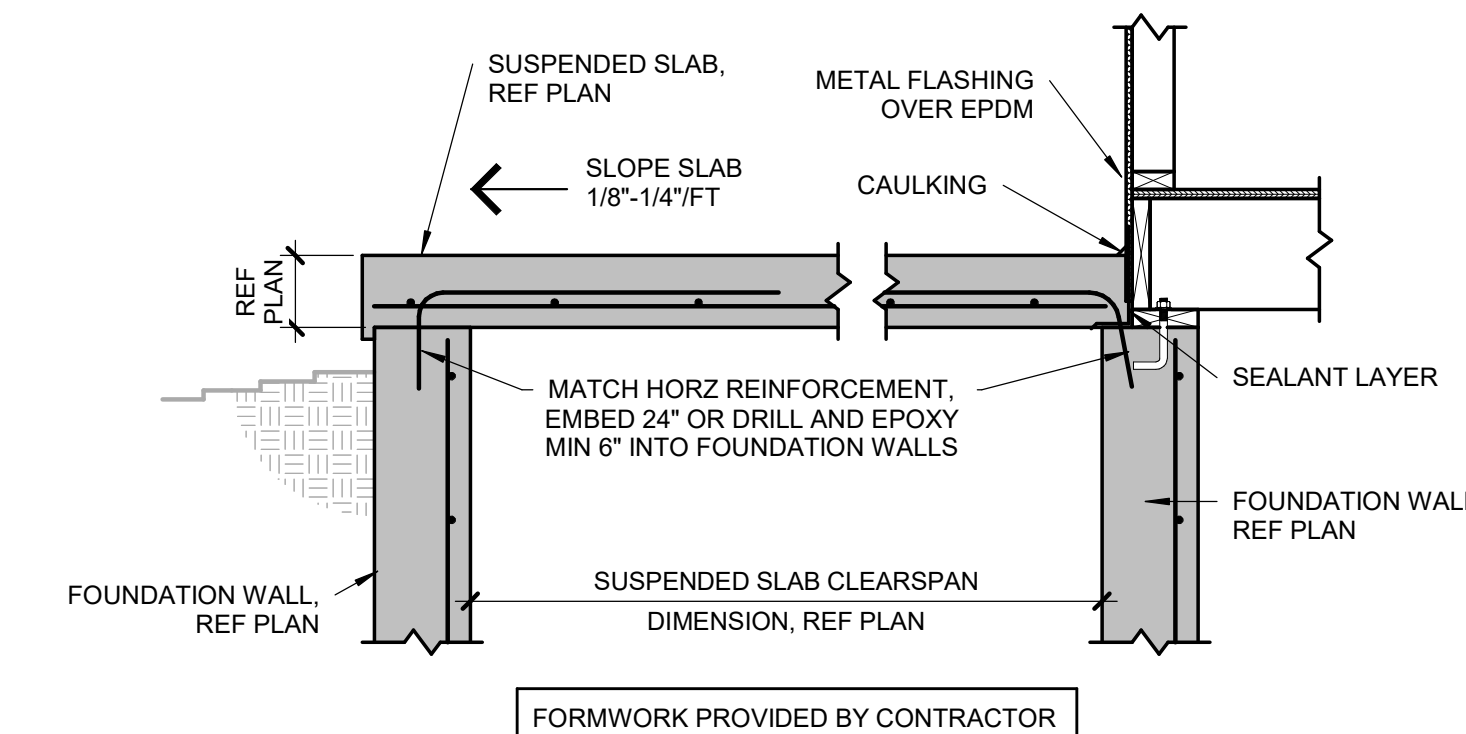
3 STRUCTURAL SLAB/WALL SECTION
S501 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



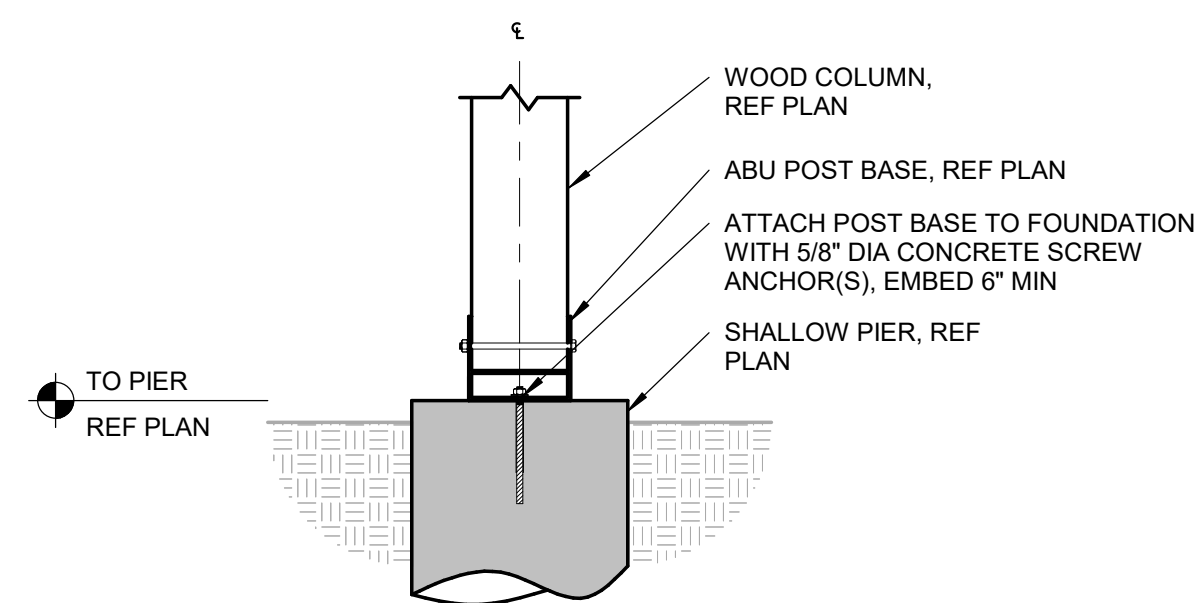
8 STRUCTURAL SLAB PEDESTAL DETAIL
S501 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



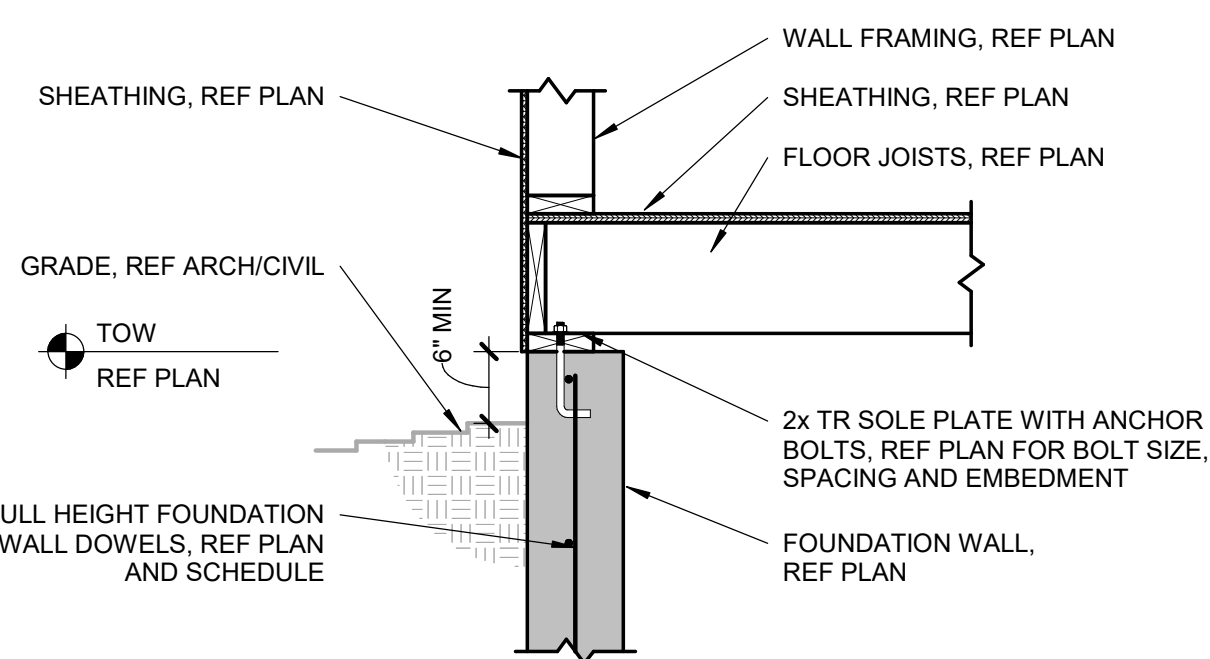
5 JOISTS PARALLEL AT STEM WALL FOUNDATION
S501 3/4" = 1'-0"



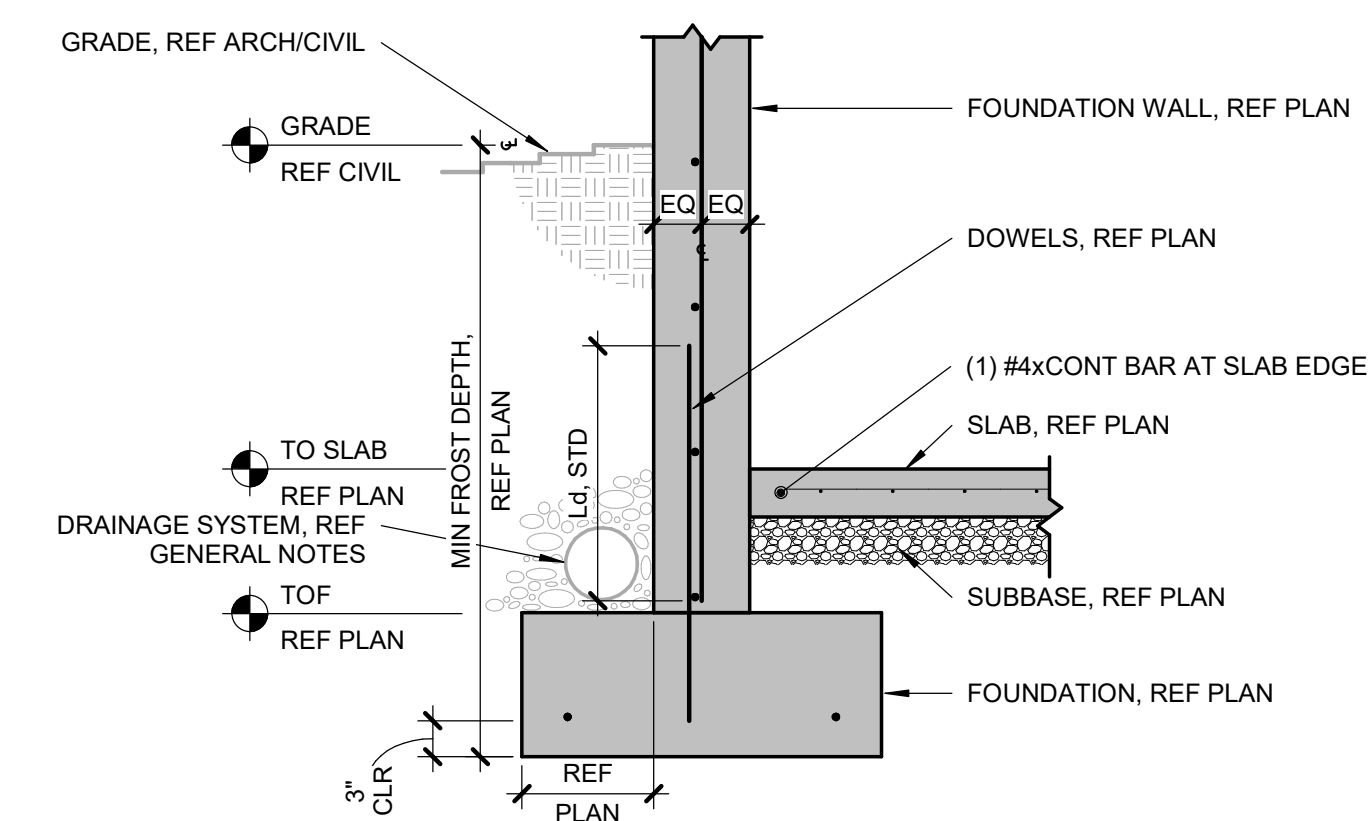
2 SUSPENDED PORCH STOOP DETAIL
S501 3/4" = 1'-0"



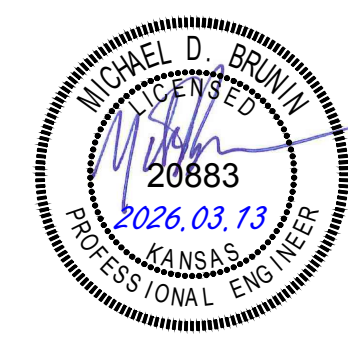
7 POST BASE DETAIL
S501 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



4 JOISTS BEARING AT STEM WALL FOUNDATION
S501 3/4" = 1'-0"



1 FOUNDATION WALL ON DROPPED SPREAD FOOTING
S501 3/4" = 1'-0"



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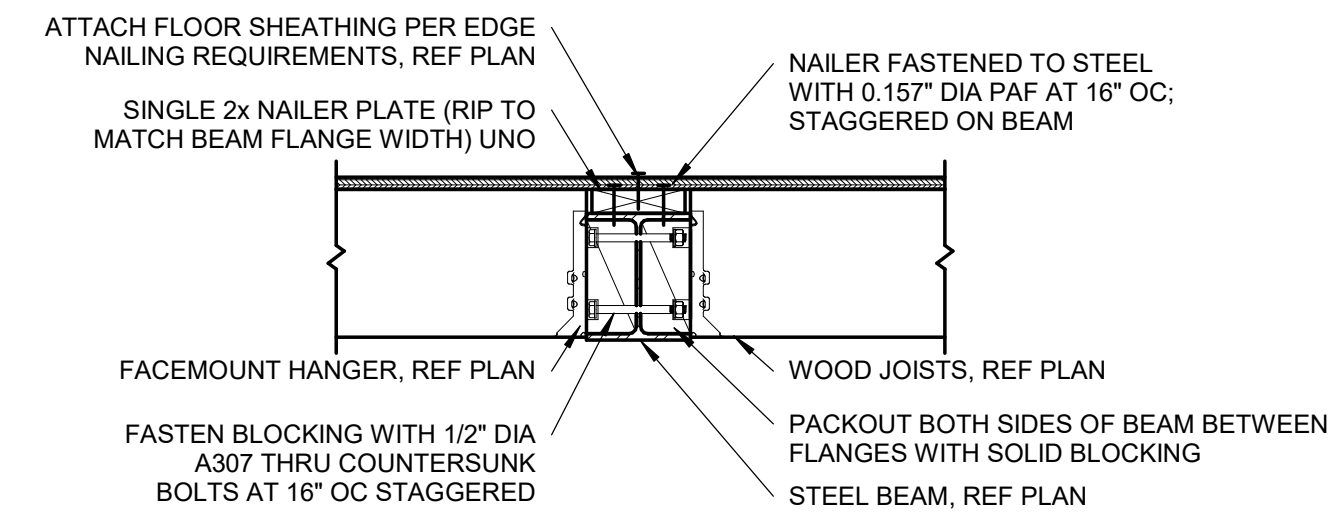
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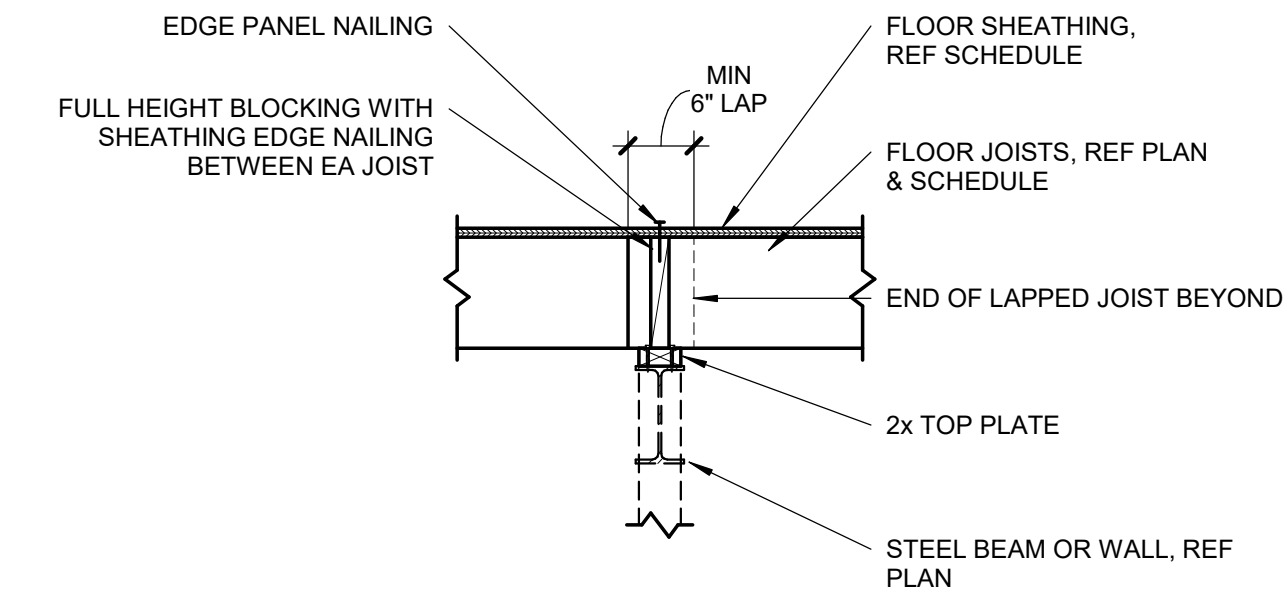
FOUNDATION DETAILS

S501

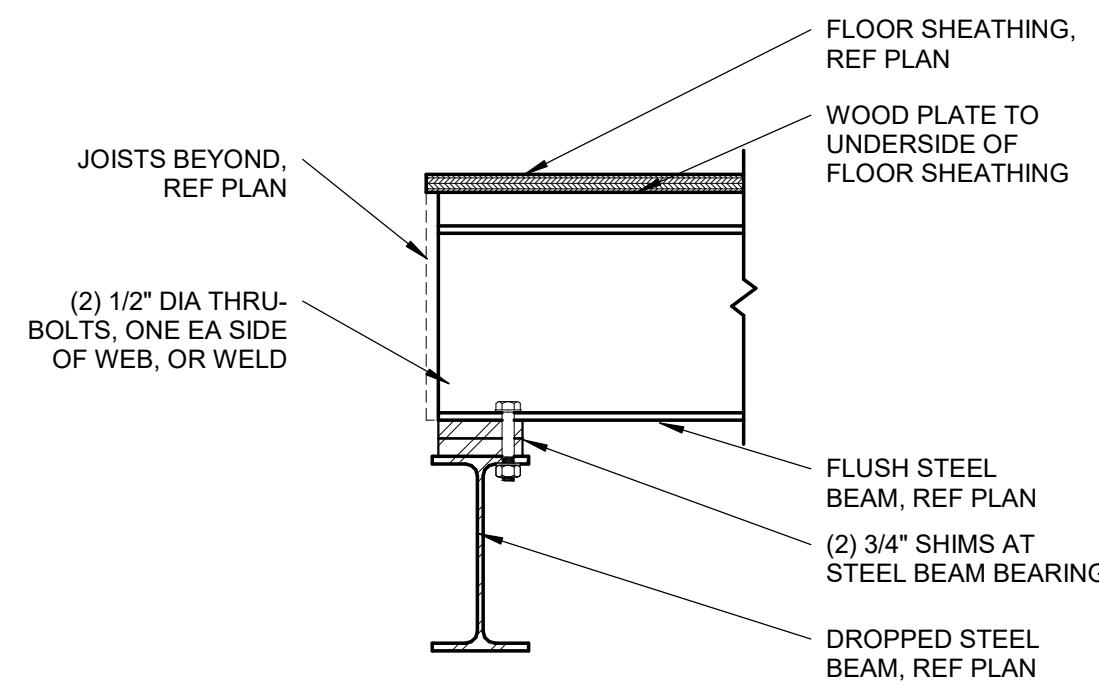


STEEL BEAM PACKOUT
DETAIL APPLIES WHEN FULL PACKOUT OF BEAM IS ACHIEVABLE. REFERENCE PLAN AND ADDITIONAL DETAILS FOR OTHER CONDITIONS

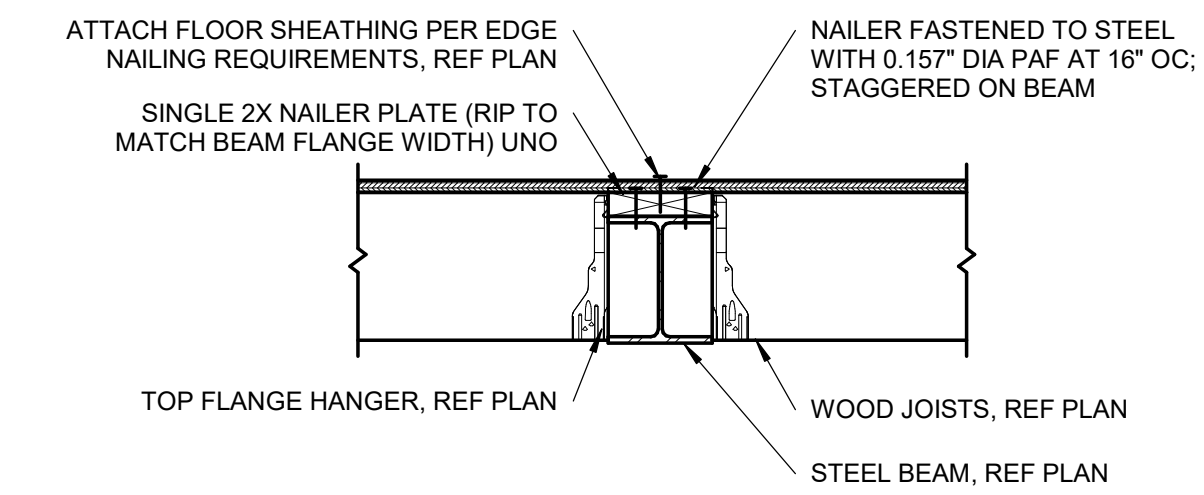
6 STEEL BEAM FULL PACKOUT
S510 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



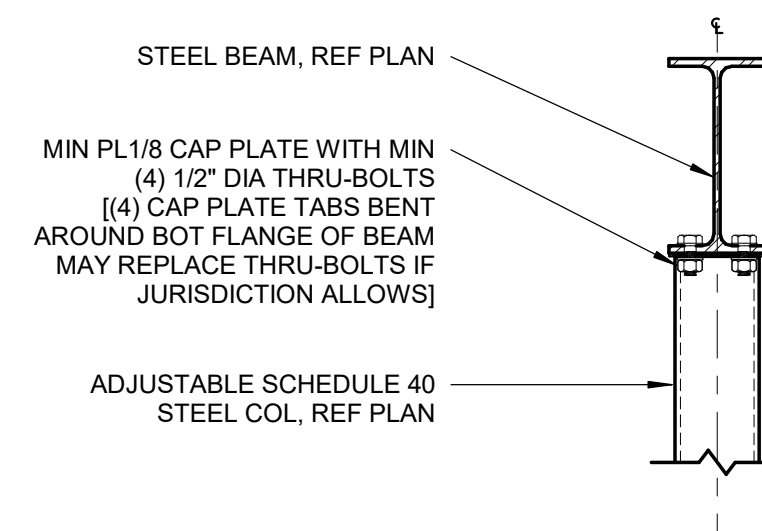
3 JOIST LAPPING AT INTERIOR BEARING WALL
S510 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



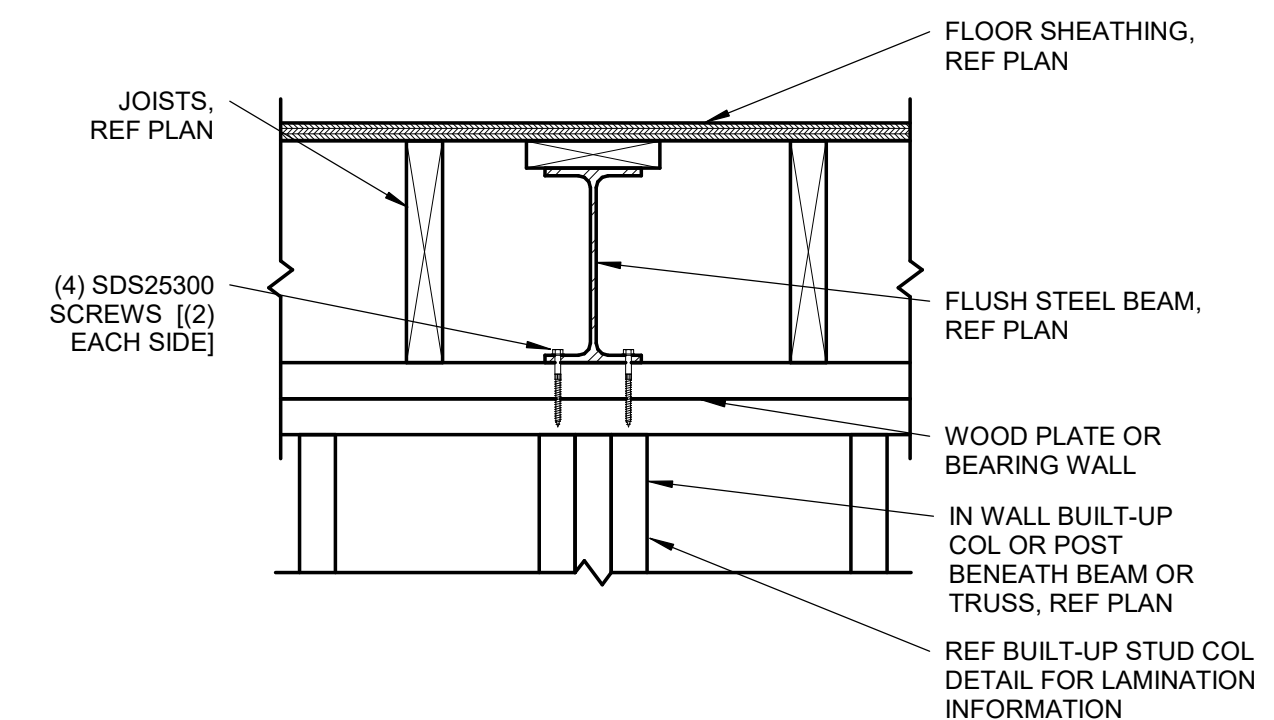
5 FLUSH STEEL BEAM TO STEEL BEAM
S510 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



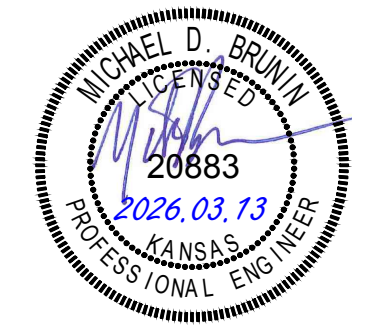
2 TYP STEEL BEAM FLANGE BLOCKING AND NAILER
S510 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



4 ADJUSTABLE STEEL COLUMN
S510 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



1 FLUSH STEEL BEAM CONNECTION
S510 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



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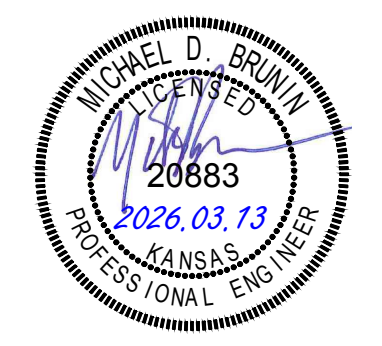
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PROJECT NUMBER 2025-37

STEEL FRAMING DETAILS

S510

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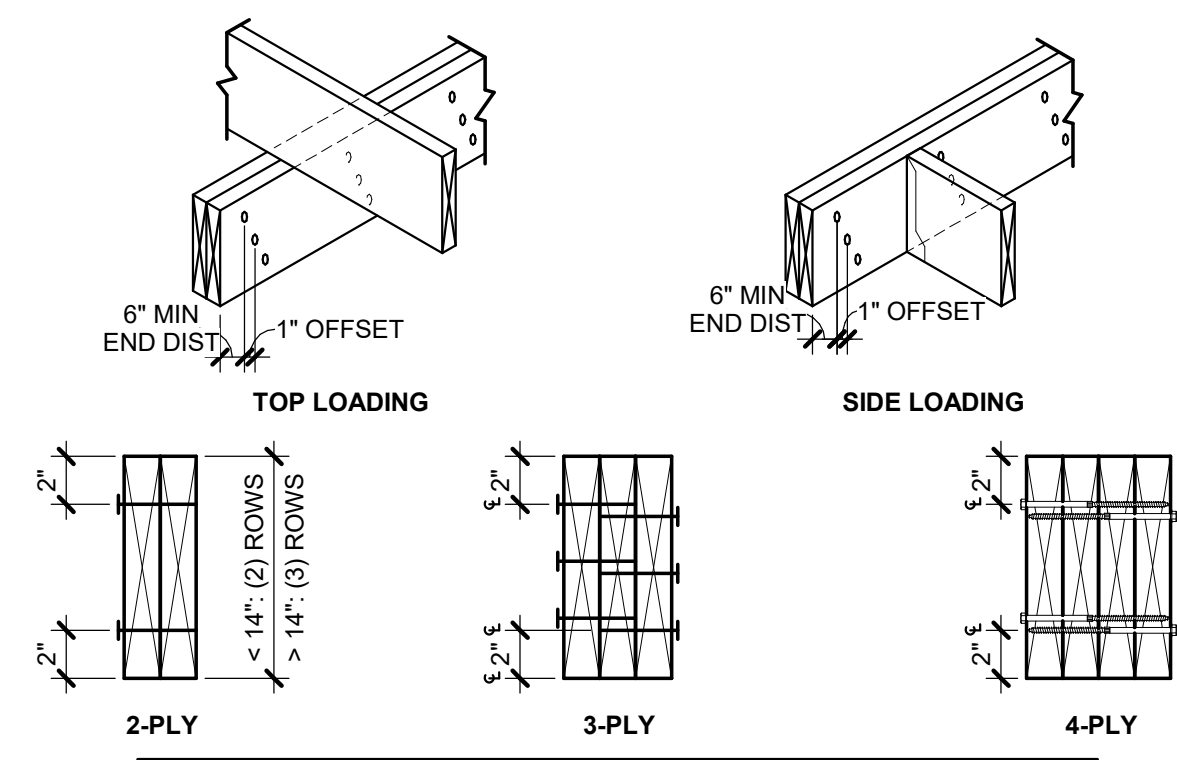
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IRC TYPICAL WOOD DETAILS

S520

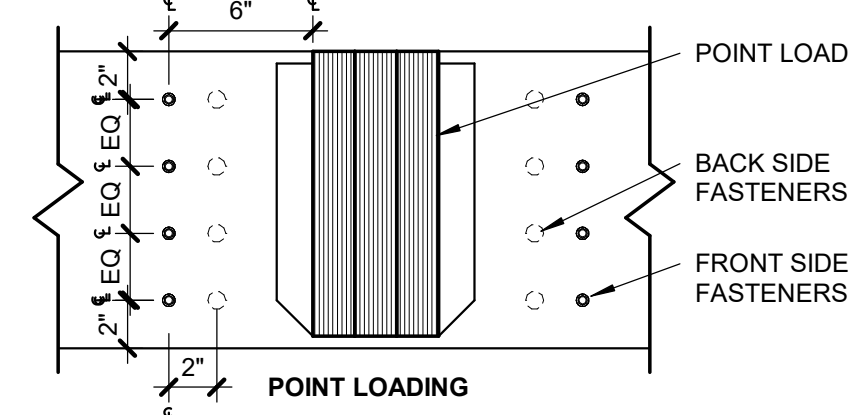
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UNIFORM LOAD FASTENER SPACING

- NOTES:
1. STAGGER FASTENER ON OPP SIDE BY 1/2 OF FASTENER SPACING
2. NAILING SHOWN APPLIES UNO
3. SPACE NAILS EVENLY THROUGHOUT DEPTH OF BEAM
4. 1" OFFSET FOR STAGGER AND 6" MIN END DISTANCE
5. 6" SDS SCREWS NOT RECOMMENDED FOR LSL

PLIES	FASTENER	FASTENER SPACING PER ROW	
		TOP LOADING	SIDE LOADING
2-PLY	16d X 3"	12" OC	6" OC
3-PLY	16d X 3"	12" OC EA SIDE	6" OC EA SIDE
4-PLY	SDS25600	16" OC EA SIDE	12" OC EA SIDE

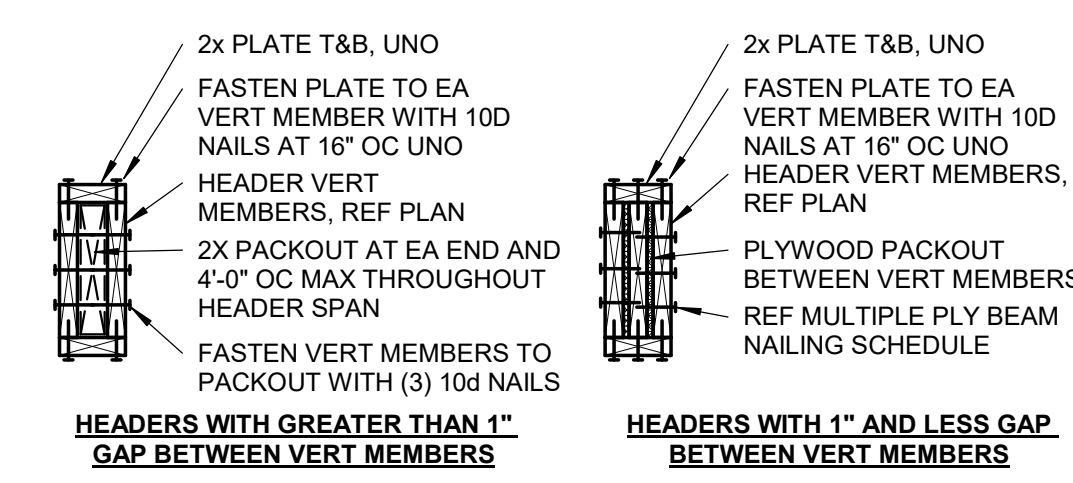


POINT LOAD FASTENER SPACING

PLIES	FASTENER	NUMBER OF FASTENERS	
		FRONT SIDE	BACK SIDE
2-PLY	SDS25312	8	-
3-PLY	SDS25312	8	-
4-PLY	SDS25600	8	-

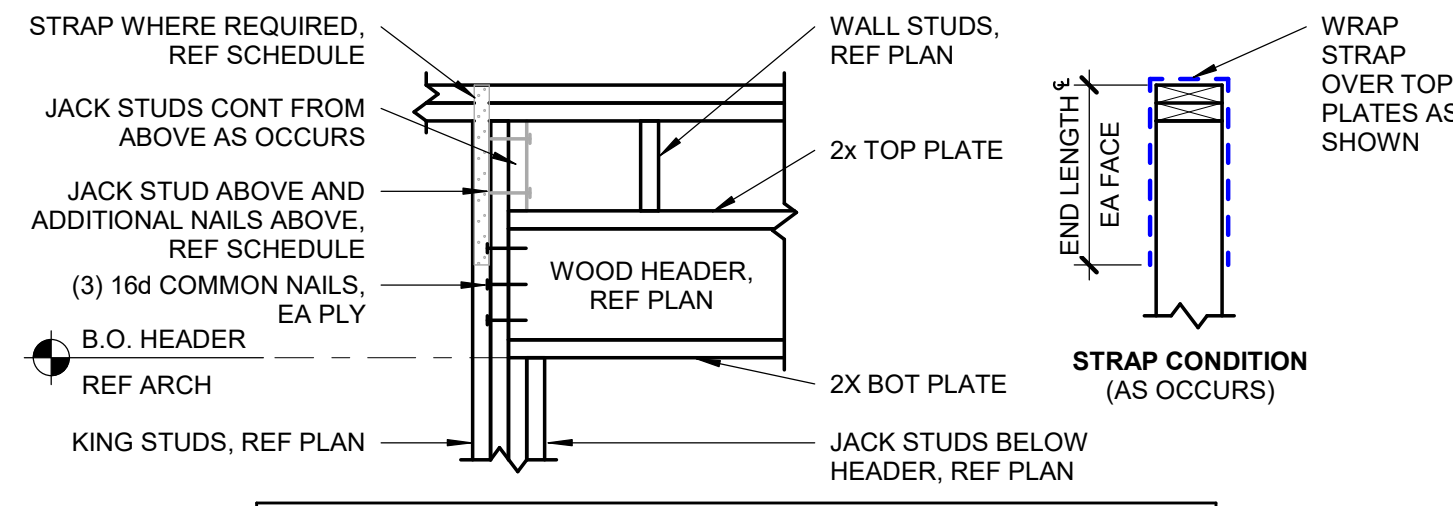
8 TYPICAL BUILT UP WOOD BEAM

S520 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



7 TYPICAL WOOD HEADER DETAIL

S520 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



SCHEDULE - WOOD JAMB

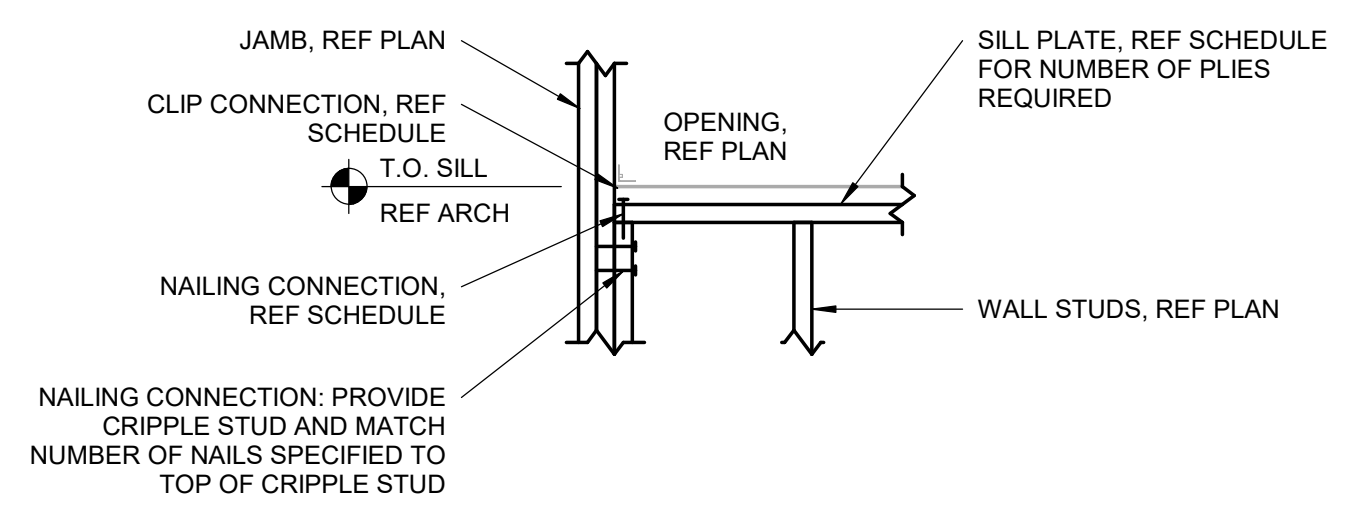
NOTE:
1. IF JACK STUD NAILS ABOVE CANNOT BE INSTALLED, SIMPSON CS16 STRAP IS REQUIRED TO BE WRAPPED OVER THE TOP PLATES AT THE KING STUDS ON EA FACE, REF FIGURE FOR LOCATION
2. INSTALL PER MFR SPECIFICATIONS
3. (3) 16d COMMON NAILS EA PLY IS TYP FOR ALL CONDITIONS

OPENING WIDTH	ADDITIONAL JACK STUD NAILS ABOVE
< 5'-0"	-
5'-1" TO 7'-0"	(4) 16d COMMON NAILS
7'-1" TO 11'-6"	(9) 16d COMMON NAILS

MAX WIND SPEED OF 130 MPH, EXP C

6 TYP HEADER DETAIL

S520 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



SCHEDULE - WOOD SILL

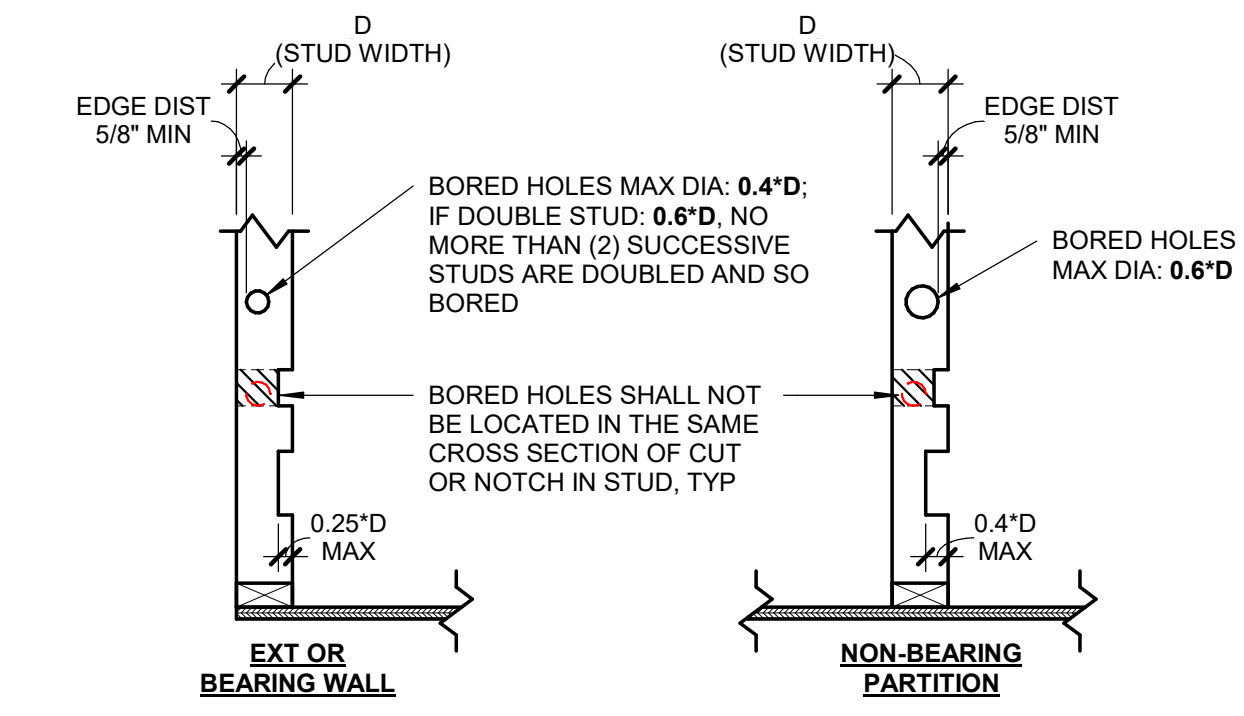
NOTE:
1. SILL TO MATCH WALL STUD WIDTH AND GRADE, UNO

OPENING WIDTH	SILL PLIES REQUIRED	CONNECTION
< 5'-0"	(1) 2x6 / (1) 2x4	(4) 16d NAILS
5'-1" TO 7'-0"	(1) 2x6 / (2) 2x4	(1) SIMPSON A35
7'-1" TO 11'-6"	(2) 2x6	(2) SIMPSON A35 (1) T&B

MAX WIND SPEED OF 130 MPH, EXP C

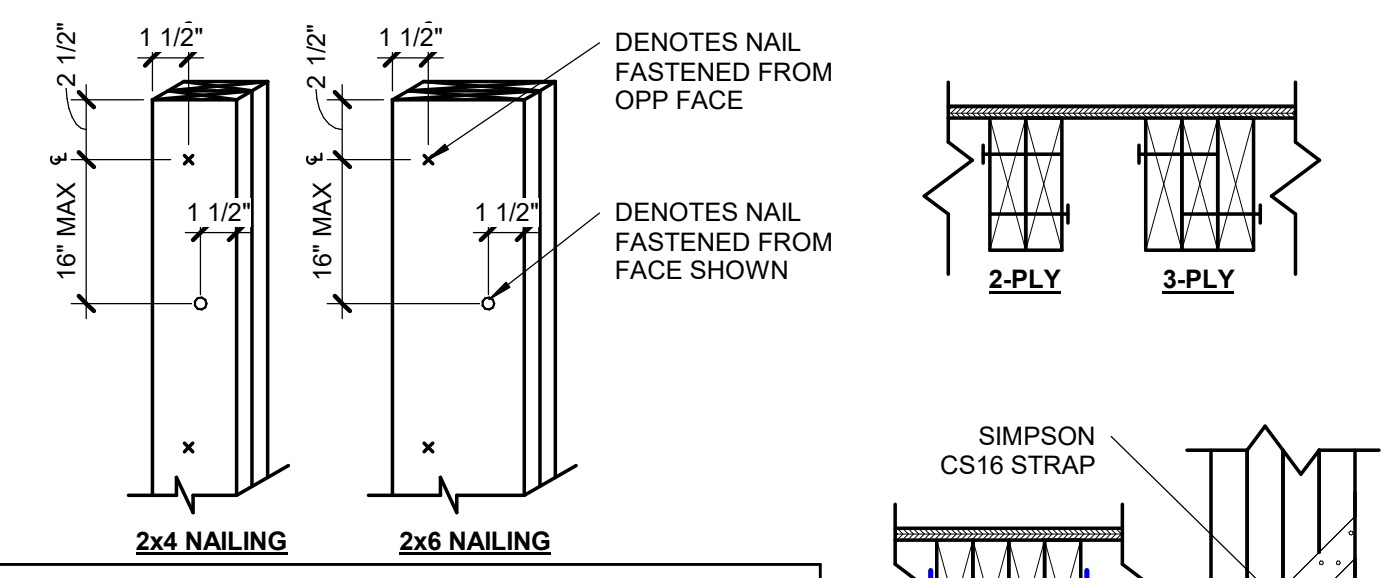
5 TYP SILL DETAIL

S520 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



3 CUTTING, NOTCHING, AND BORED HOLES IN STUDS

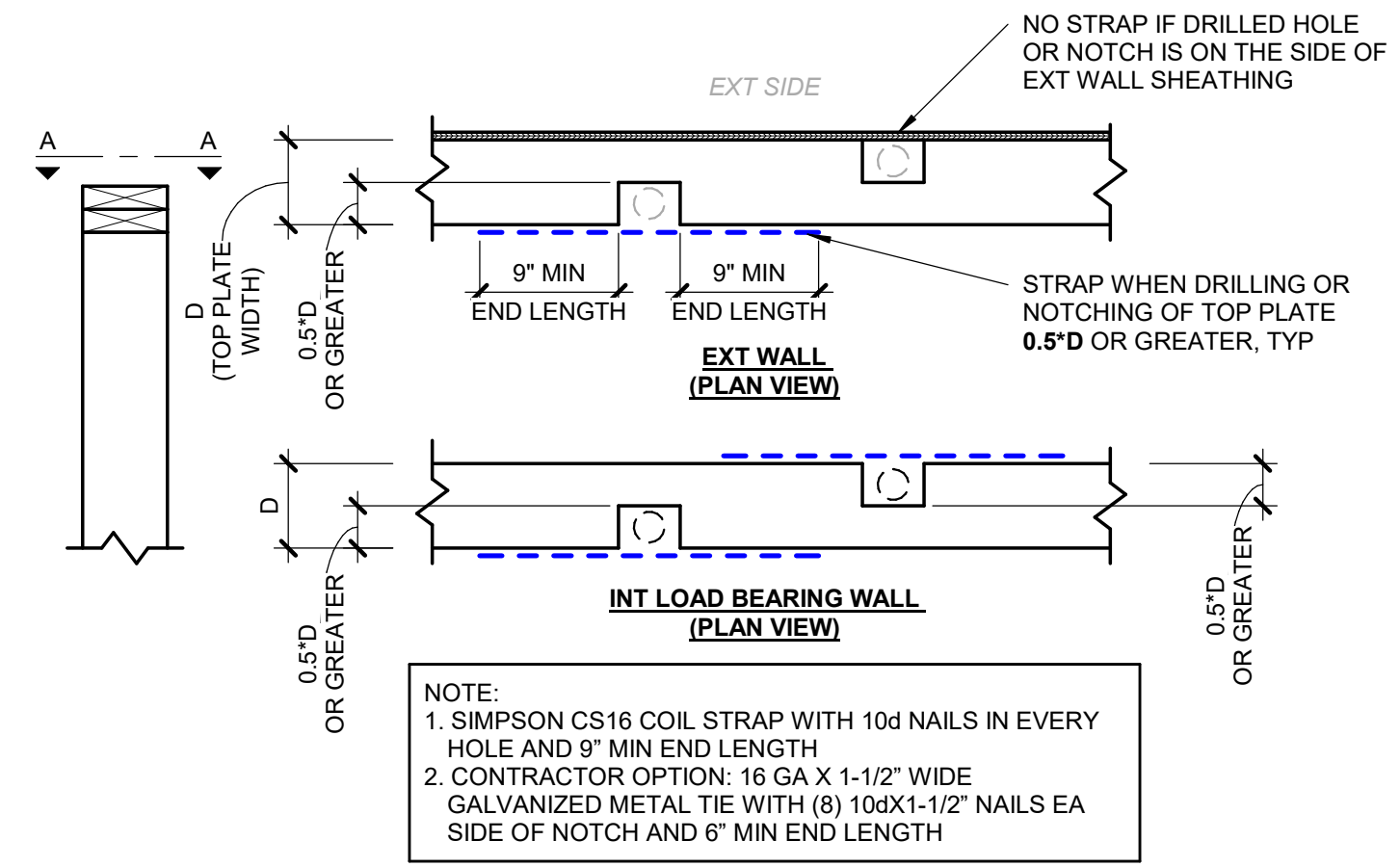
S520 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



- NOTES:
1. ALL STUD PACKS REQUIRE ATTACHMENT TO SHEATHING
2. 2-PLY AND 3-PLY SHALL BE FASTENED WITH 16d COMMON NAILS STAGGERED AT 16" OC WITH 1-1/2" MIN EDGE DISTANCE AND 2-1/2" MIN END DISTANCE (AS SHOWN)
3. ADJACENT NAILS ARE DRIVEN FROM OPP SIDES OF COL
4. CS16 STRAP REQUIRED FOR 4-PLY OR MORE, WRAP STRAP AROUND STUD PACK AND INSTALL AT AN ANGLE
A. < 9'-0" WALL HEIGHT: STRAP AT MID HEIGHT
B. > 9'-0" WALL HEIGHT: STRAP AT 1/3 POINTS
5. IF EACH PLY IS FASTENED TO THE ADJACENT PLY, STRAP MAY BE OMITTED.

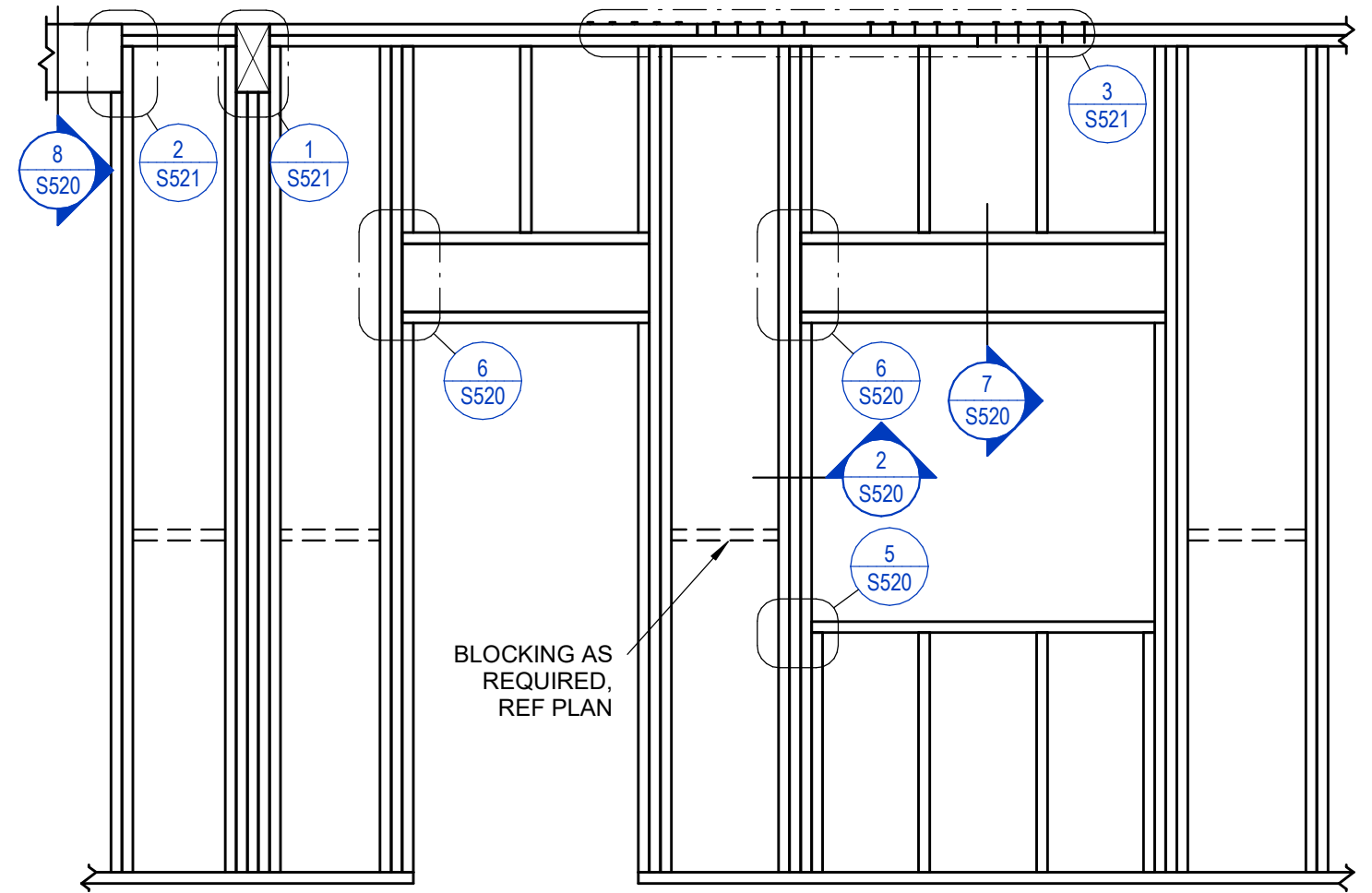
2 TYP BUILT-UP IN WALL STUD COLUMN

S520 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



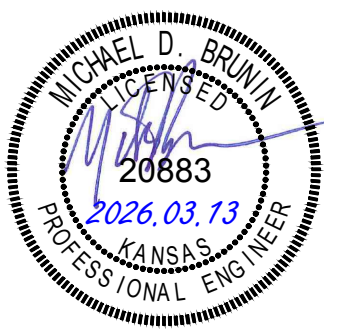
4 NOTCHING AND BORED HOLES IN TOP PLATES

S520 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



1 TYP WOOD FRAMED WALL

S520 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



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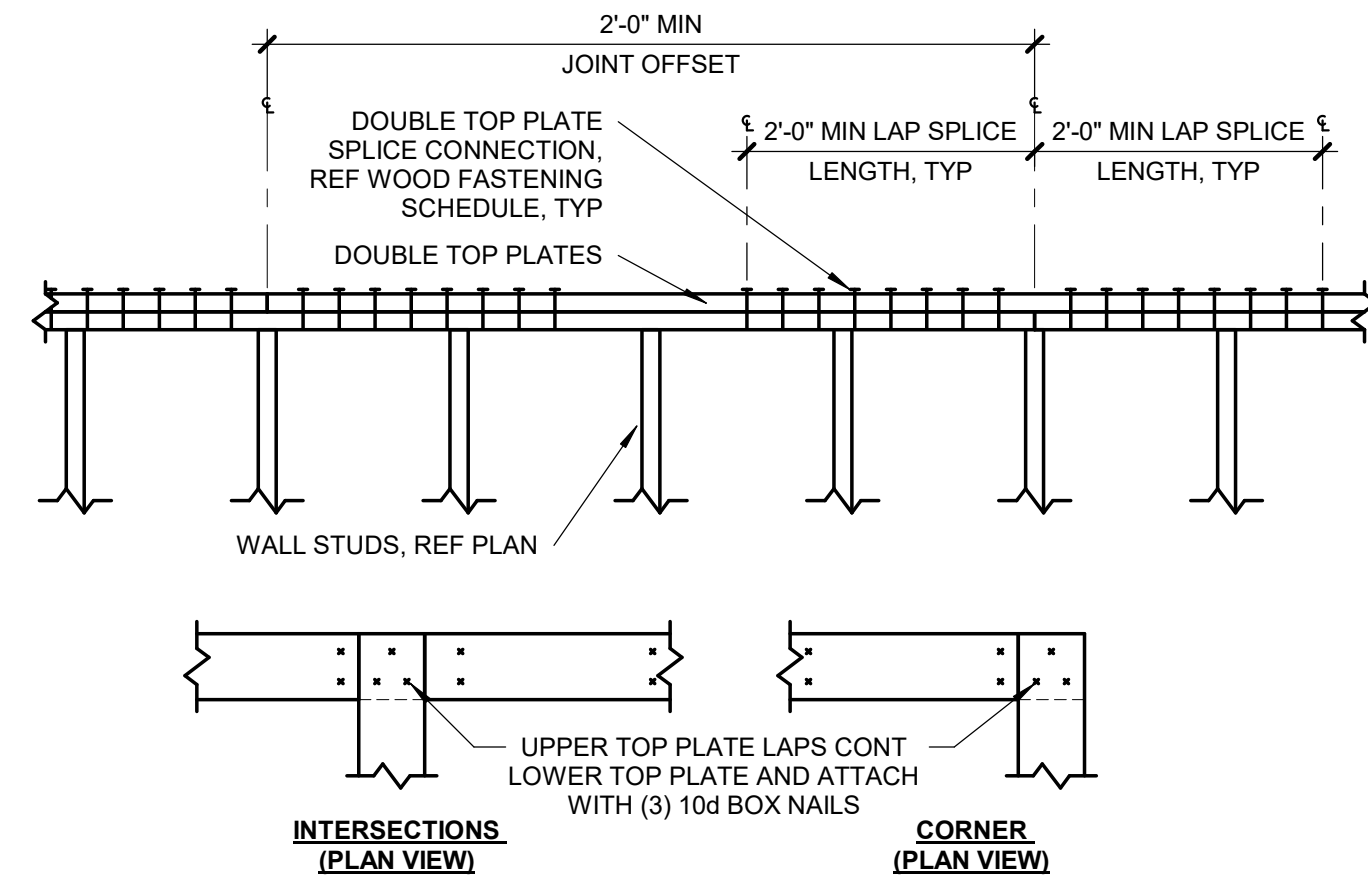
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IRC TYPICAL WOOD DETAILS

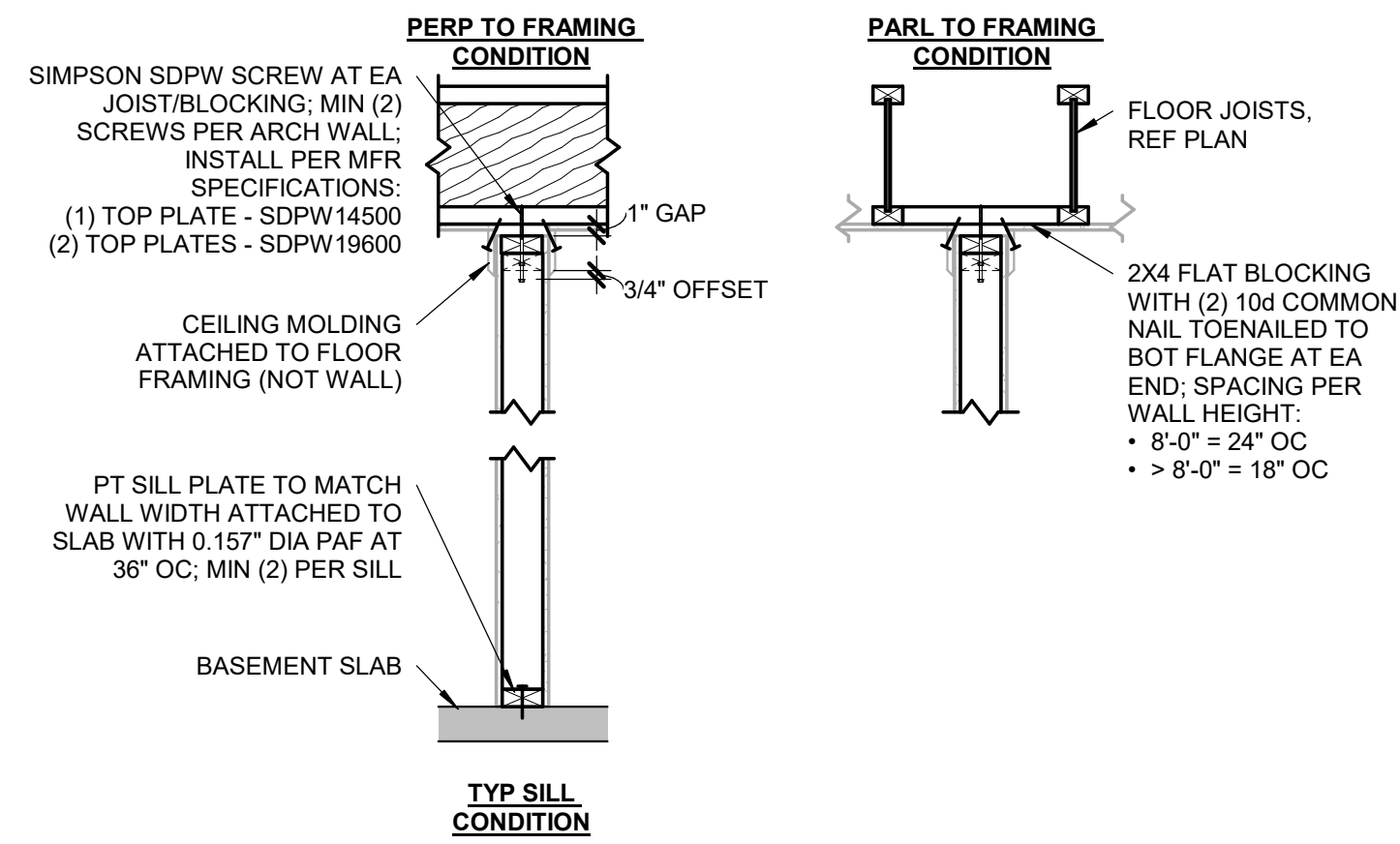
S521

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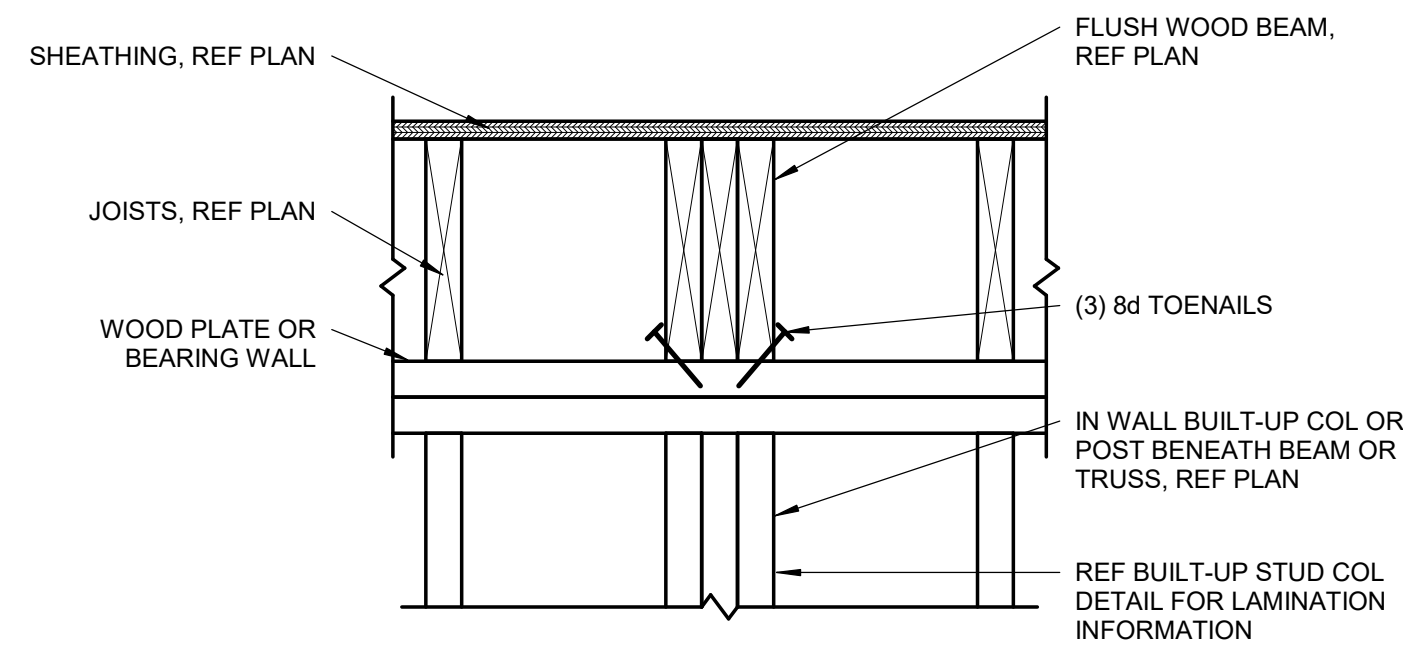
3 TYP DOUBLE TOP PLATE SPLICE

S521 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



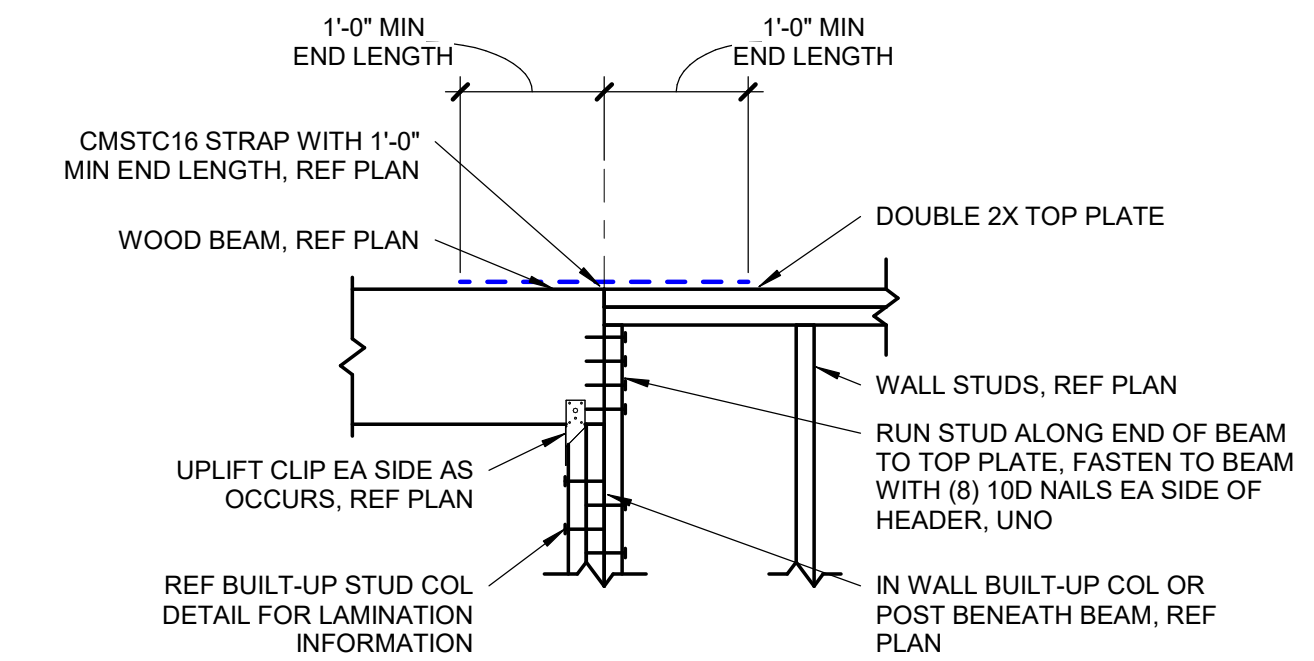
6 ARCH WALL AT BASEMENT SLAB (CEILING MOLDING)

S521 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



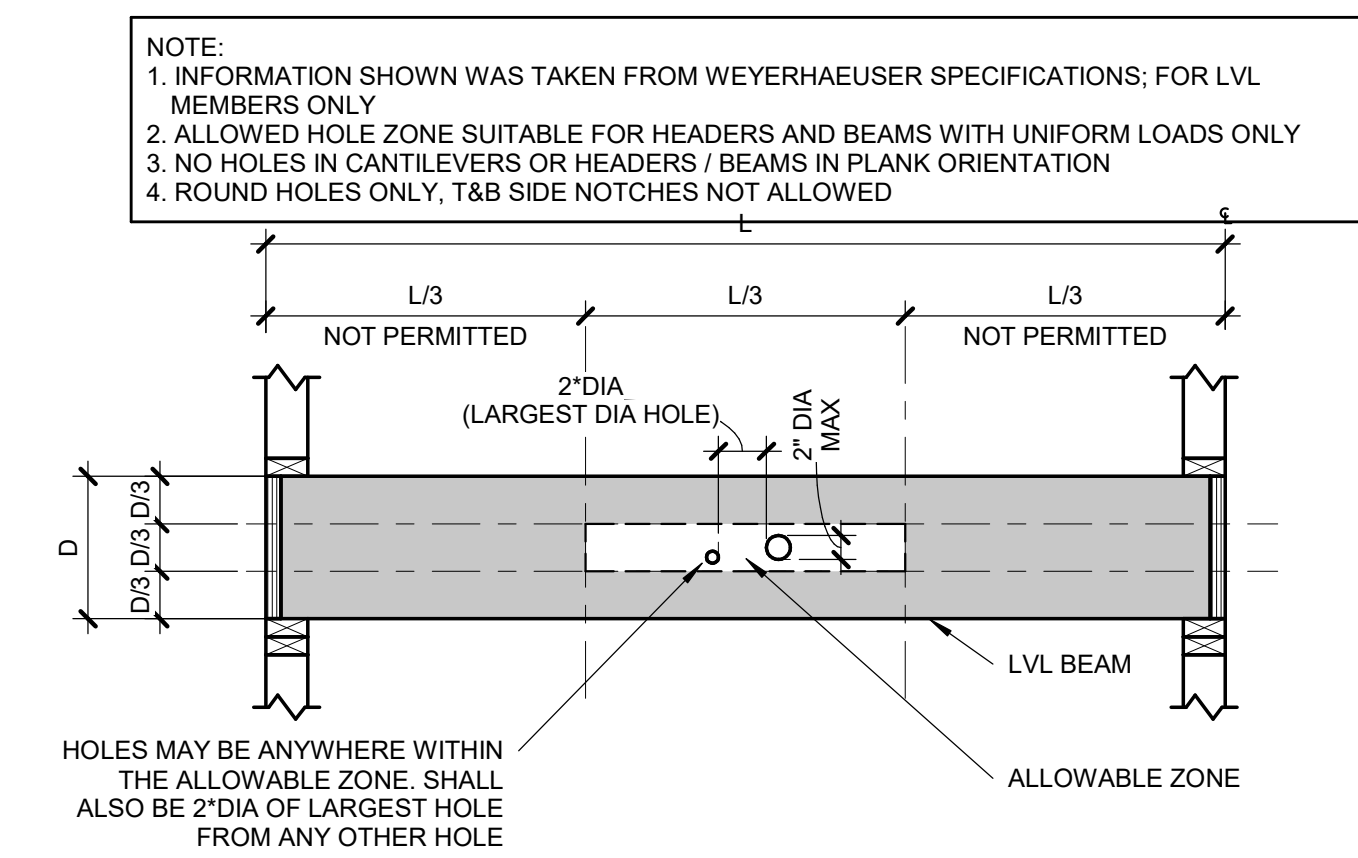
9 FLUSH WOOD BEAM CONNECTION

S521 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



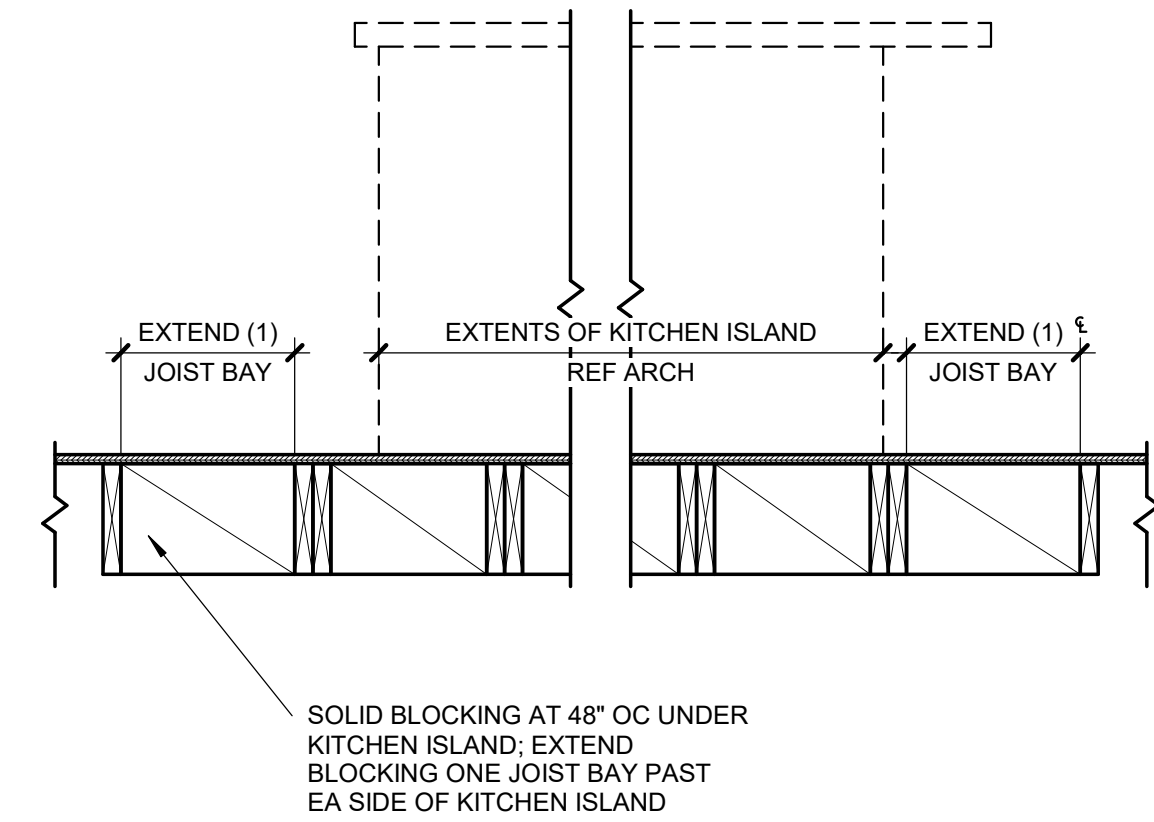
2 WALL

S521 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



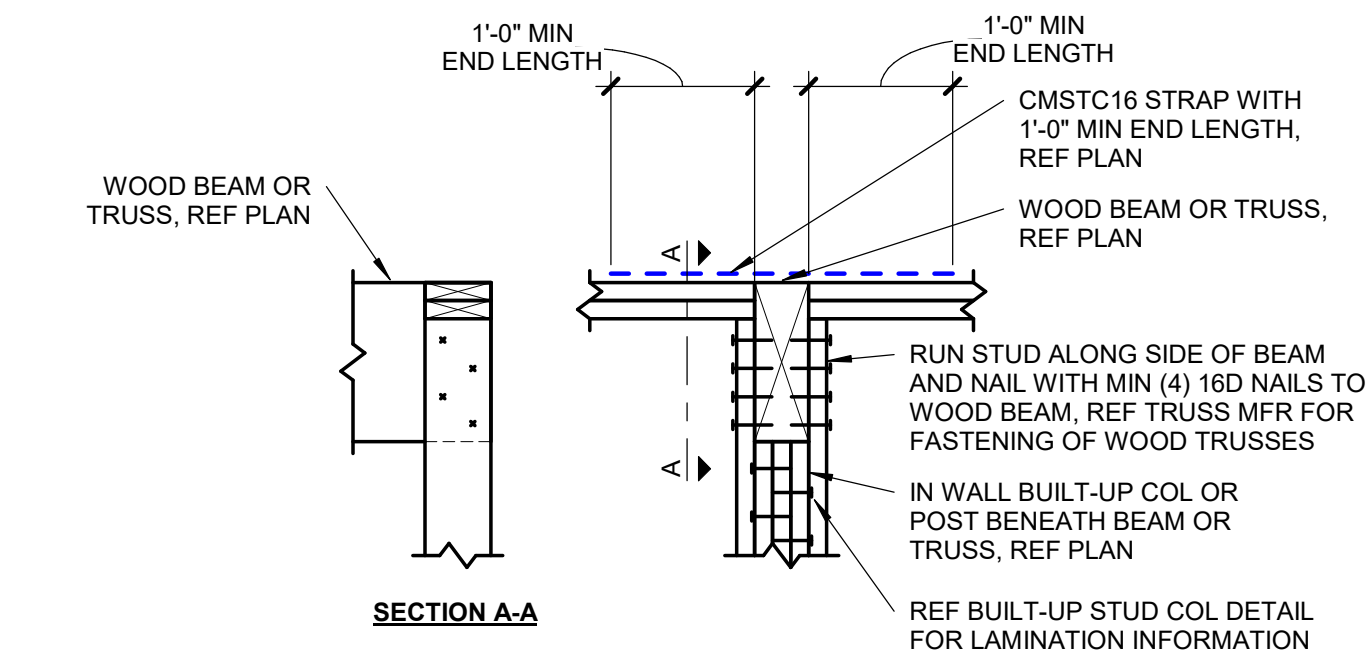
5 LVL BEAM - HOLE LIMITATIONS

S521 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



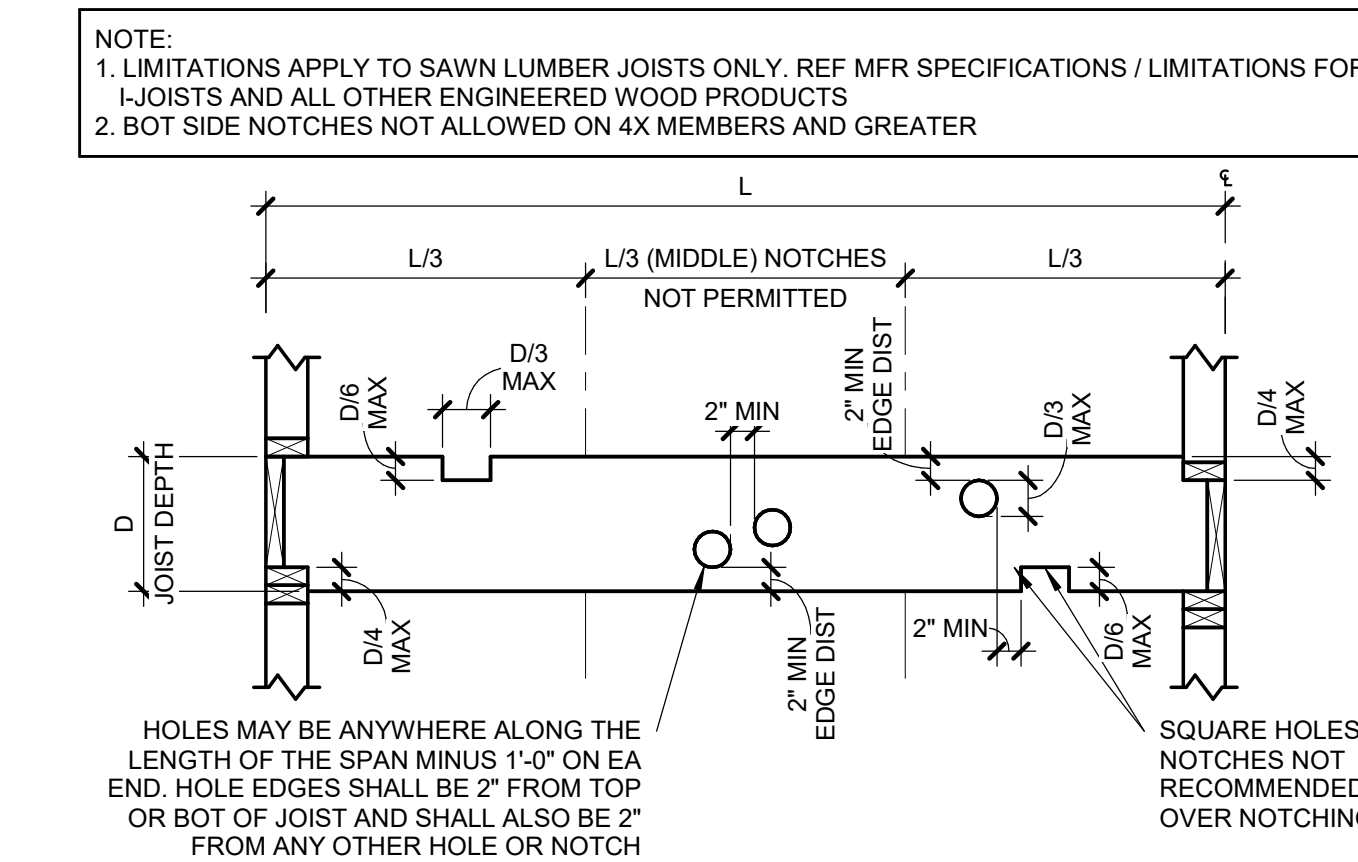
8 BLOCKING DBL JOISTS UNDER KITCHEN ISLAND

S521 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



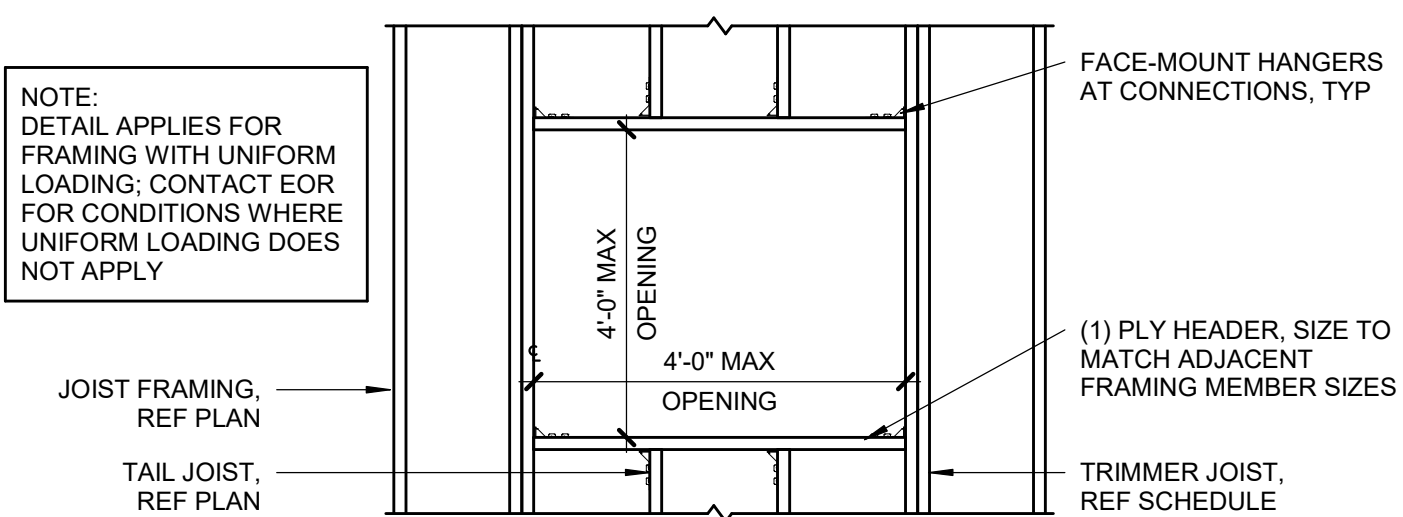
1 TYP BEAM POCKET AT STUD WALL

S521 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



4 SAWN LUMBER JOISTS - HOLE AND NOTCH LIMITATIONS

S521 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



7 TYPICAL OPENING IN WOOD FRAMING

S521 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS

SCHEDULE - EXTRA THROUGH JOIST

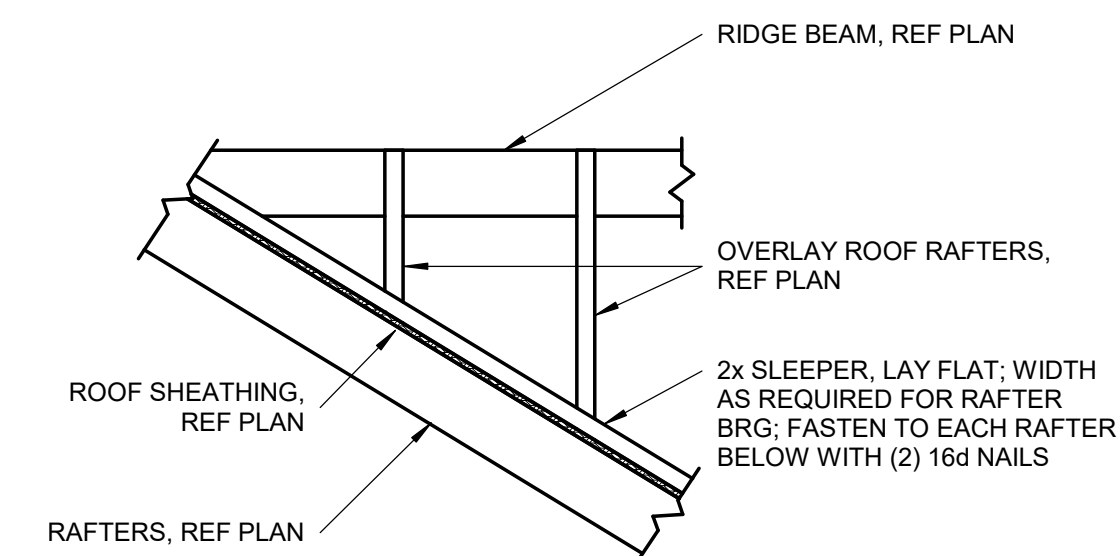
NOTE:
1. REF MULTIPLE PLY BEAM NAILING SCHEDULE

NUMBER OF CUT JOISTS	TOTAL NUMBER OF TRIMMER JOISTS
1	2
2	2
3	3

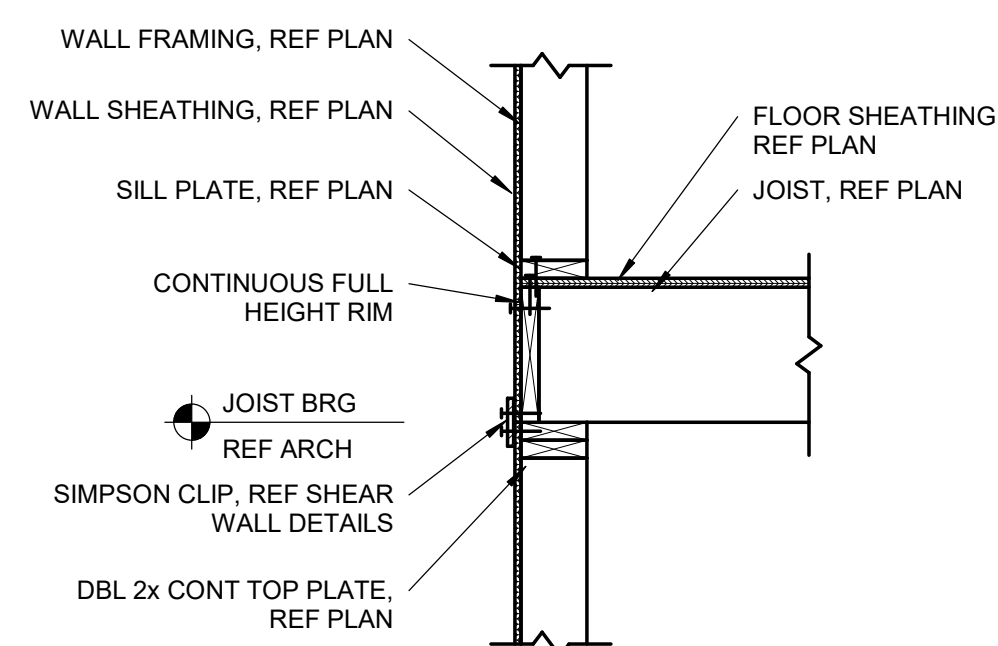
TRAKAS AND TRAKAS ARCHITECT
1600 GENESSEE ST. STE 837
KANSAS CITY, MO 64102
WILLIAM@TRAKASTRAKAS.COM

APEX ENGINEERS, INC. STRUCTURAL
1625 LOCUST ST.
KANSAS CITY, MO 64108
MIKE@APEX-ENGINEERS.COM

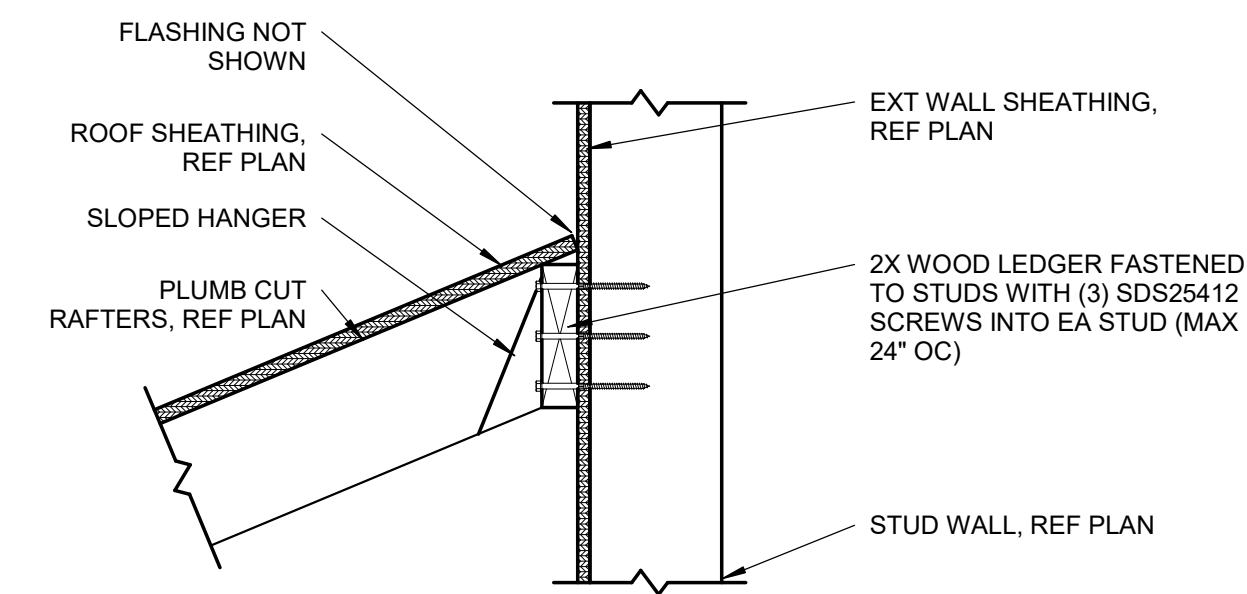
TOWNSLEY, TRAVIS OWNER
TOWNSLEY, JESSICA
2000 W 71ST ST
PRAIRIE VILLAGE, KS 66208



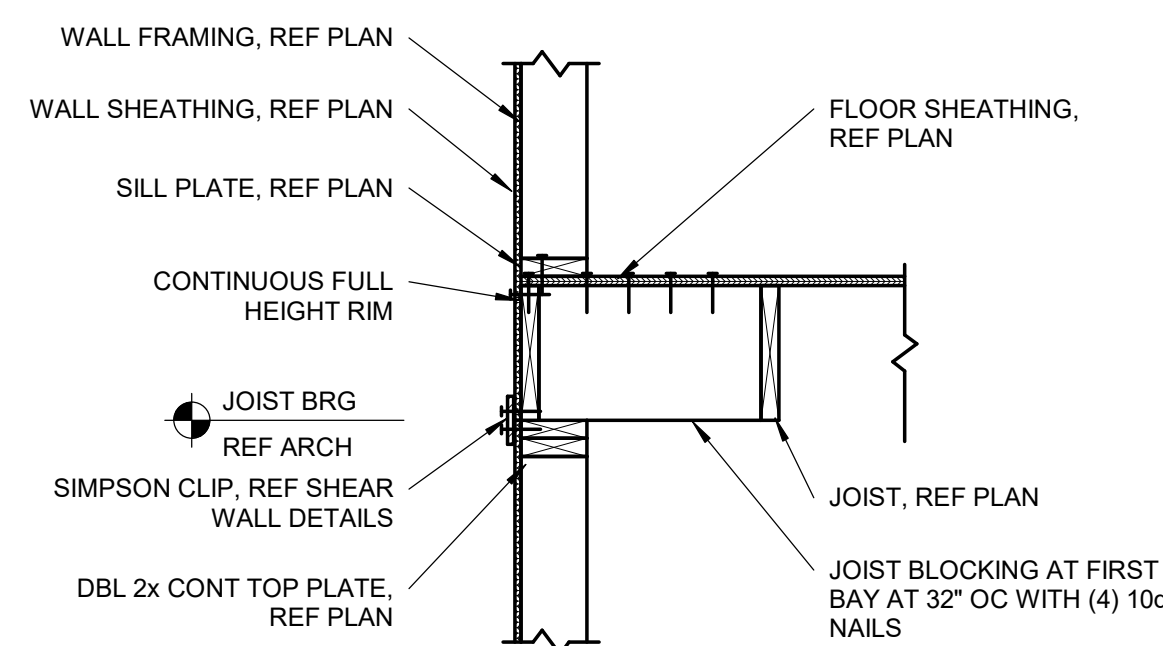
3 | TYPICAL OVERLAY ROOF FRAMING
S522 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



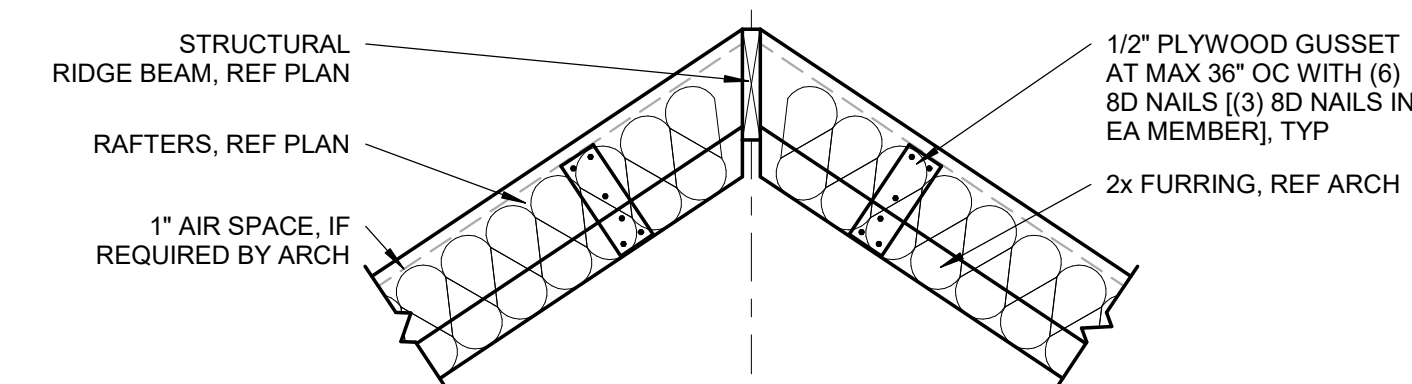
5 | WOOD 2x JOISTS BEARING AT EXTERIOR WALL
S522 3/4" = 1'-0"



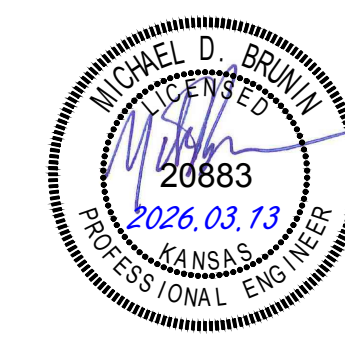
2 | LOWER ROOF LEDGER INTO STUD WALL
S522 1 1/2" = 1'-0"



4 | WOOD 2x JOISTS PARALLEL TO EXTERIOR WALL
S522 3/4" = 1'-0"



1 | VAULTED RAFTER FURRING
S522 3/4" = 1'-0"



SEAL

**TOWNSLEY
RESIDENCE**

2000 W 71ST ST
PRAIRIE VILLAGE, KS 66208

PERMIT DOCUMENTS

3/13/2026

REVISION #	DESCRIPTION	DATE



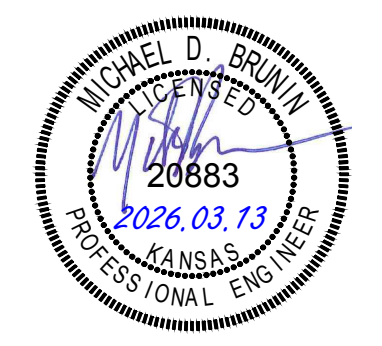
**APEX
ENGINEERS, INC.**
1625 LOCUST ST
KANSAS CITY, MO 64108
816.421.3222
www.apex-engineers.com
APEX # 25-2608

PROJECT NUMBER 2025-37

WOOD FRAMING DETAILS

S522

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TOWNSLEY RESIDNECE

2000 W 71ST ST
PRAIRIE VILLAGE, KS 66208

PERMIT DOCUMENTS

3/13/2026

REVISION #	DESCRIPTION	DATE

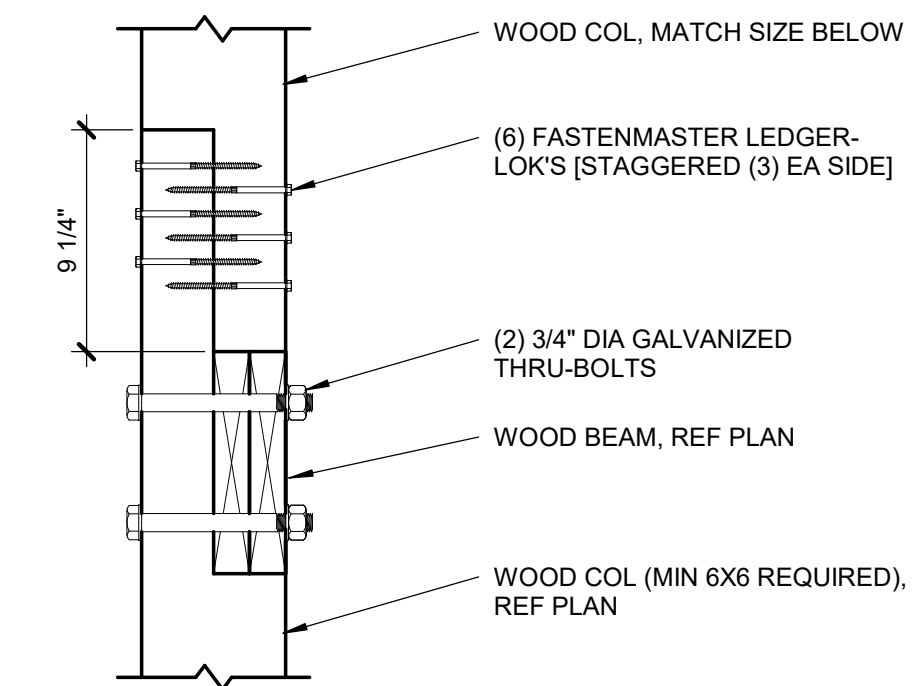


PROJECT NUMBER 2025-37

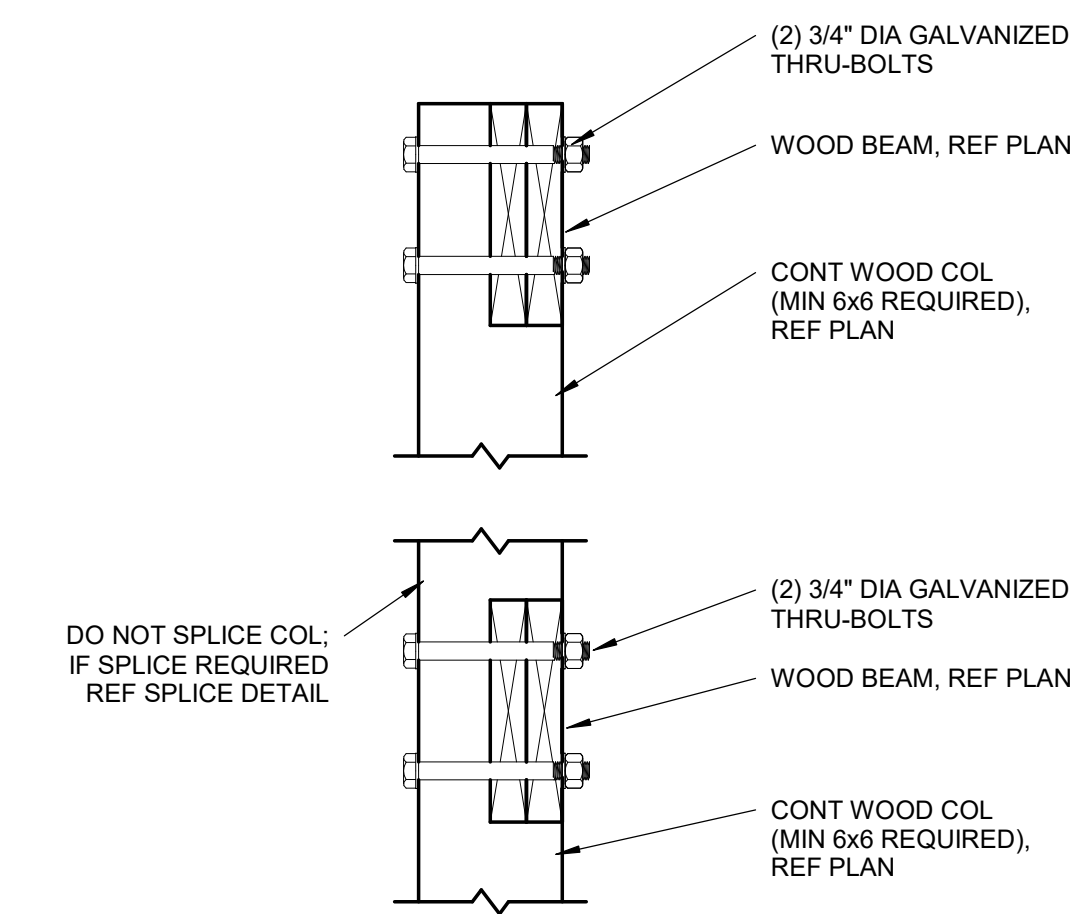
WOOD FRAMING DETAILS

S523

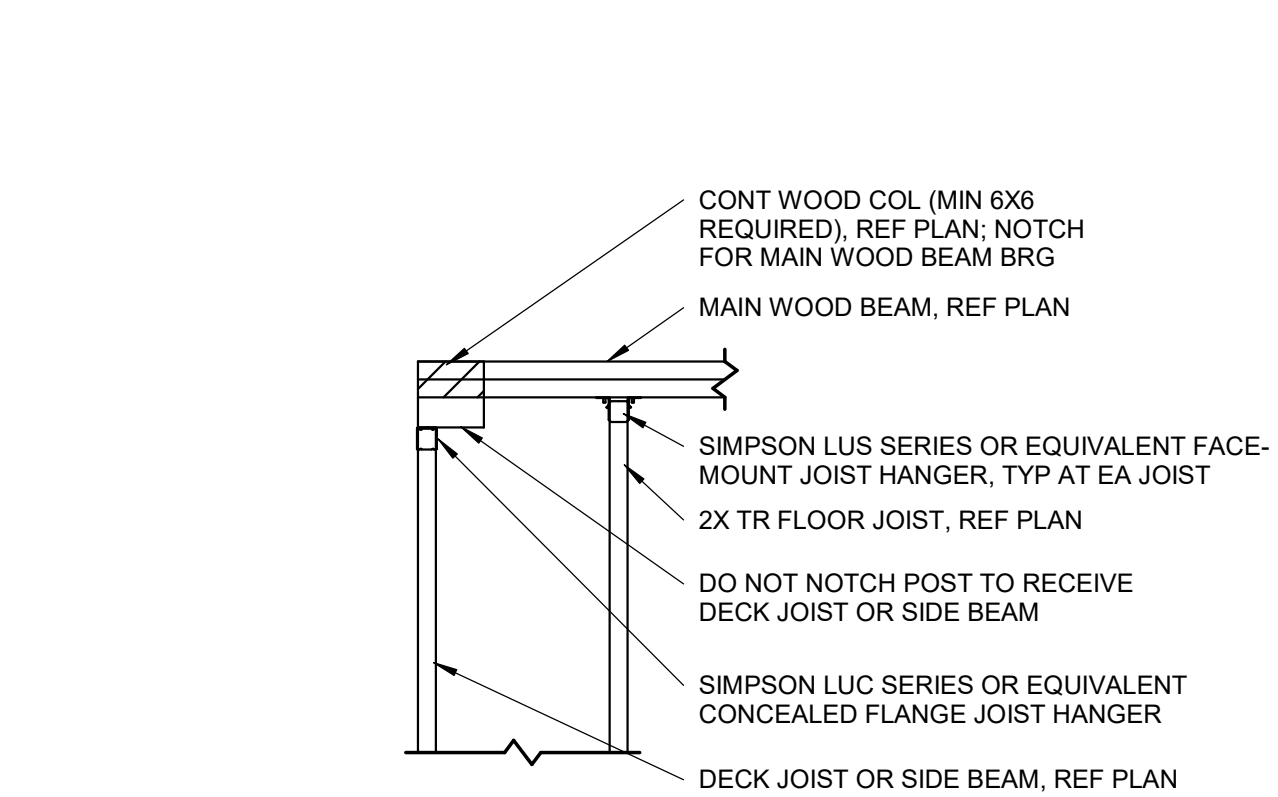
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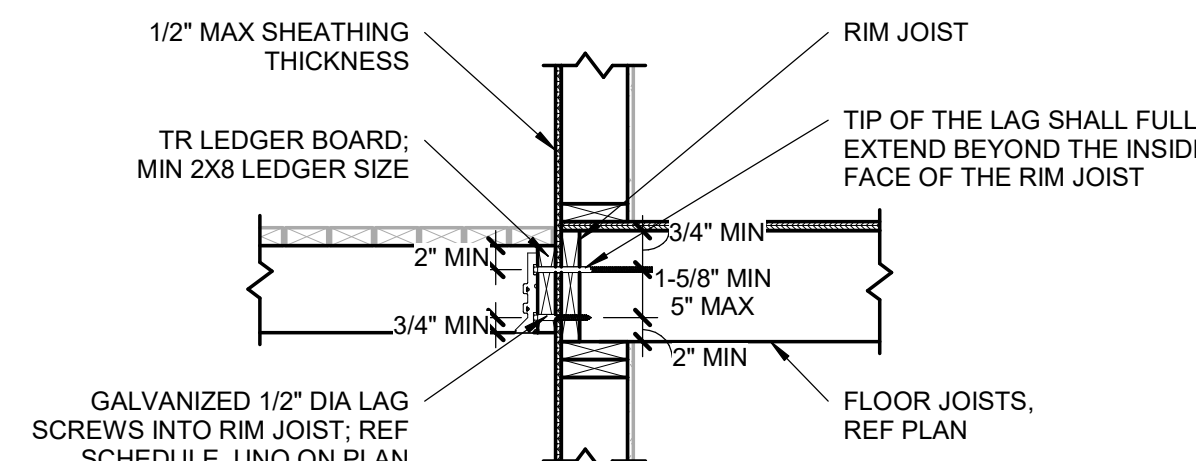
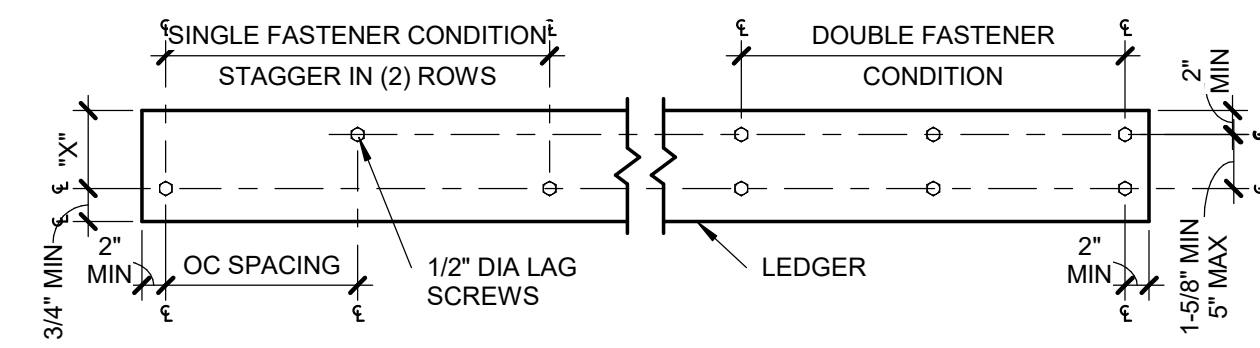
3 SPLICED DECK COLUMN CONNECTION
S523 1 1/2" = 1'-0"



2 DECK BEAM/COLUMN CONNECTION
S523 1 1/2" = 1'-0"



1 DECK BEAM/COLUMN CORNER CONNECTION
S523 3/4" = 1'-0"



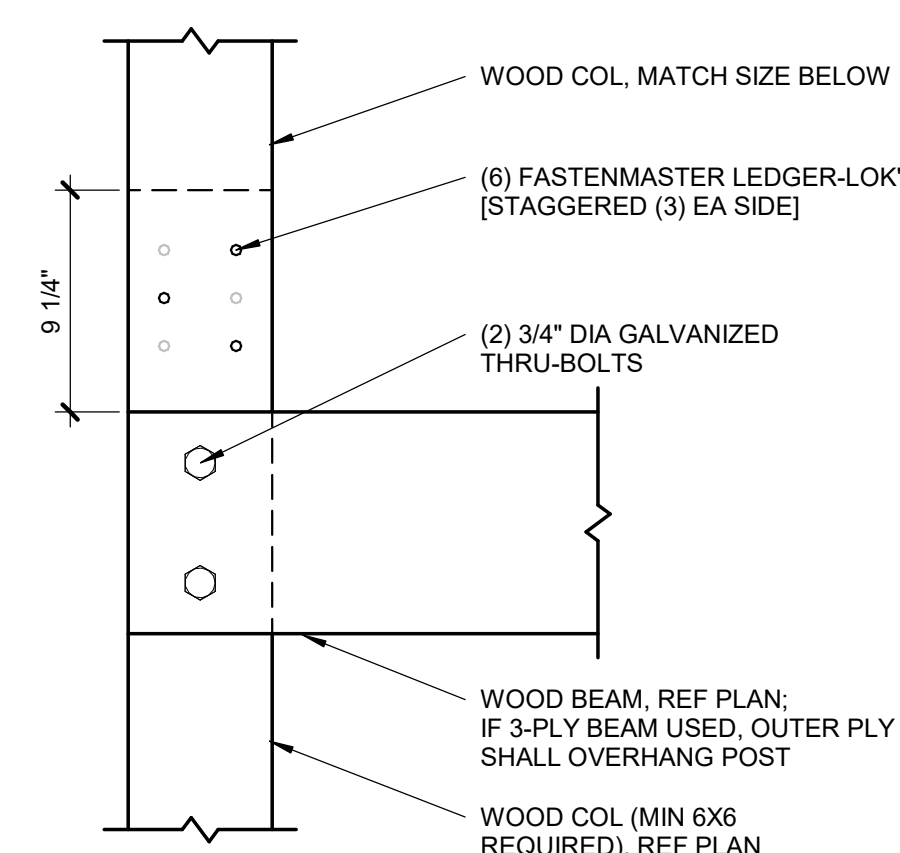
SCHEDULE - LEDGER ATTACHMENT

- NOTE:
- DISTANCE SHALL BE PERMITTED TO BE REDUCED TO 4-1/2" MIN TO ATTACH 2X8 LEDGERS TO 2X8 RIM JOISTS
 - LEDGER DEPTH MUST MATCH THE DEPTH OF JOIST OR GREATER
 - CHART IS APPLICABLE ONLY WHEN DECK IS SHOWN ON APPROVED PLAN
 - ASSUMES 40 PSF LIVE LOAD

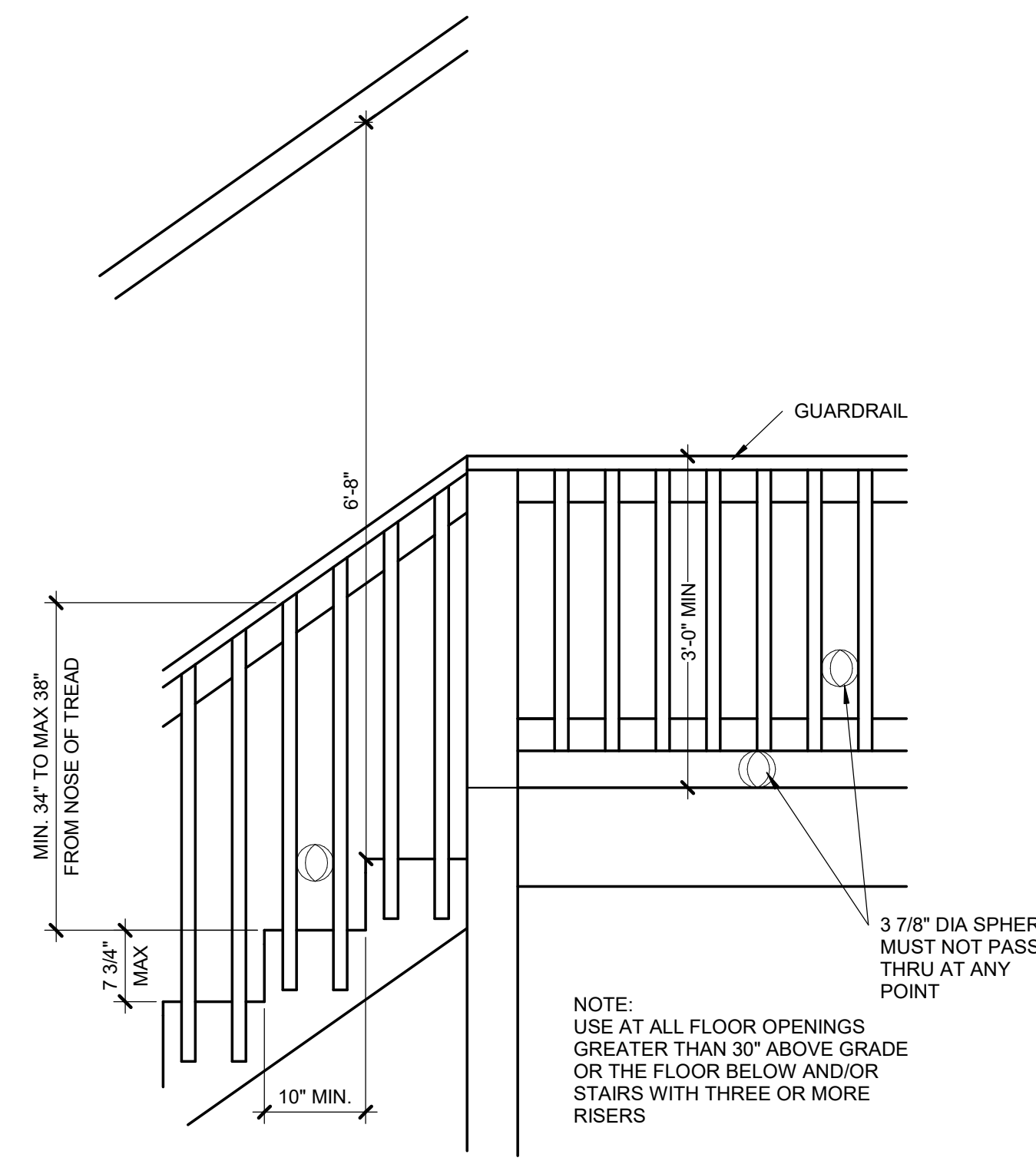
BEAM SIZE ^{2,3}	FASTENER ROW SPACING	
	"X"	
2X8	5-1/2" MIN	
2X10	6-1/2" MIN	
2X12	7-1/2" MIN	

DECK JOIST SPAN	FASTENER NUMBER AND SPACING	
	NUMBER OF SCREWS	SCREW SPACING
UP TO 10'-0"	(1)	16" OC
10'-1" TO 18'-0"	(2)	16" OC

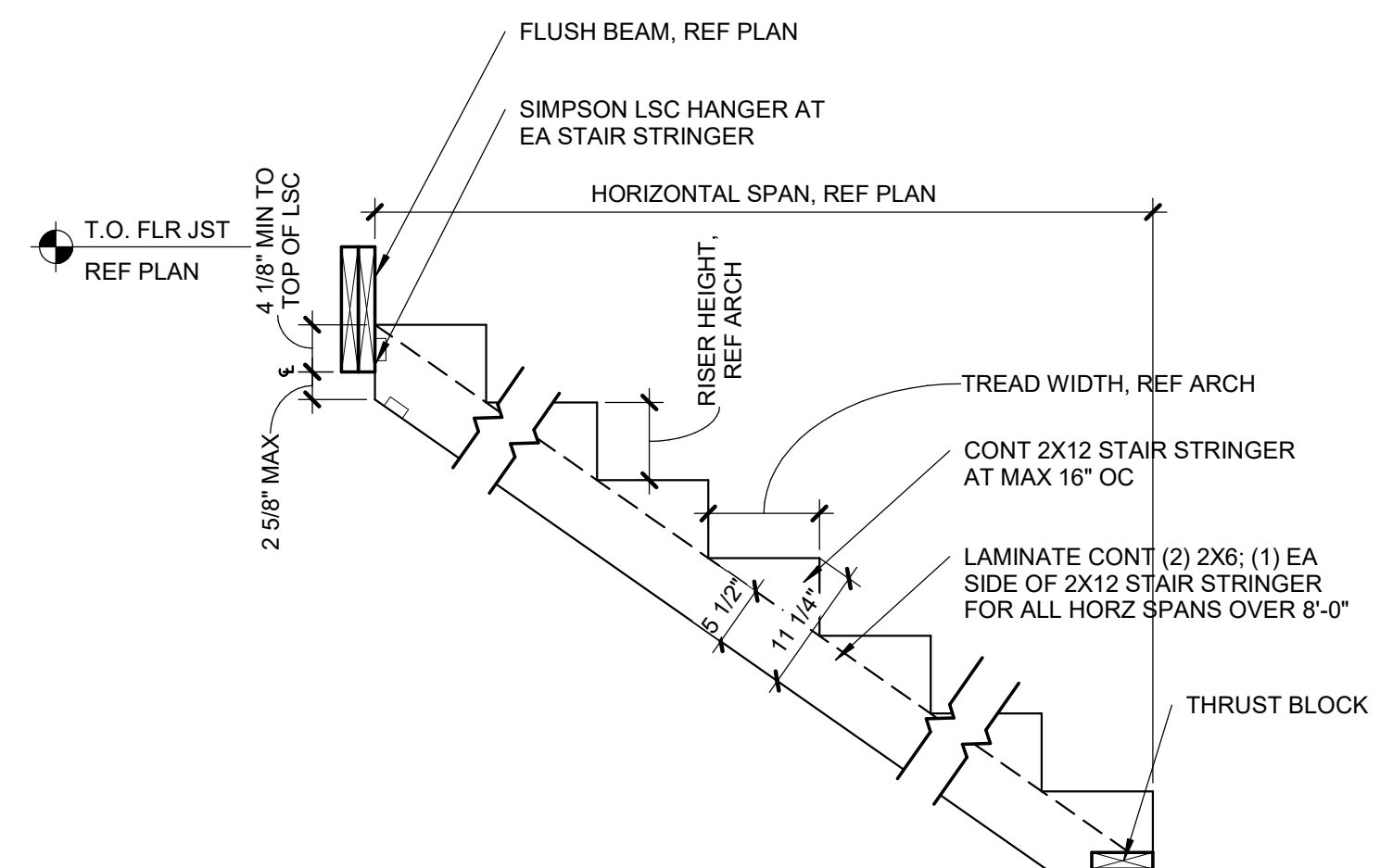
5 TYPICAL WOOD LEDGER ATTACHMENT
S523 3/4" = 1'-0"



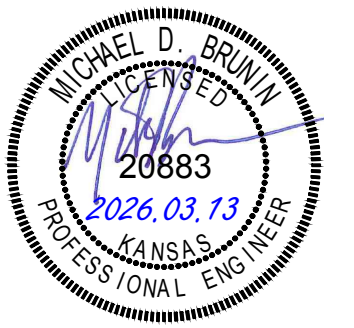
4 SPLICED DECK COLUMN CONNECTION
S523 1 1/2" = 1'-0"



8 TYPICAL IRC STAIR/RAIL DETAIL
S523 3/4" = 1'-0"



7 2x STAIR STRINGERS - MAX 12'-0\"/>



SEAL

TOWNSLEY RESIDENCE

2000 W 71ST ST
PRAIRIE VILLAGE, KS 66208

PERMIT DOCUMENTS

REVISION #	DESCRIPTION	DATE
		3/13/2026

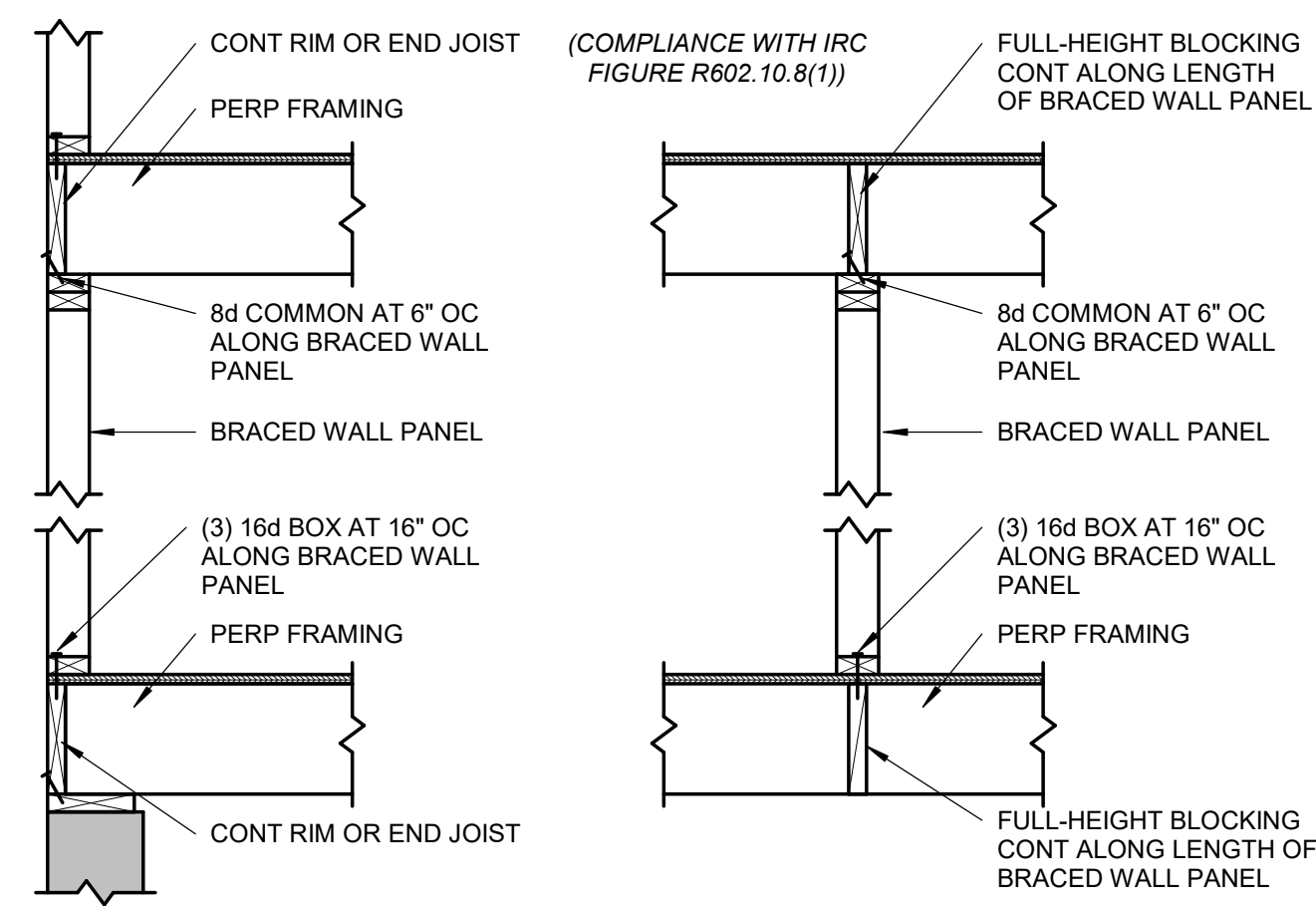


1625 LOCUST ST
KANSAS CITY, MO 64108
816.421.3222
www.apex-engineers.com
APEX # 25-2608

PROJECT NUMBER 2025-37

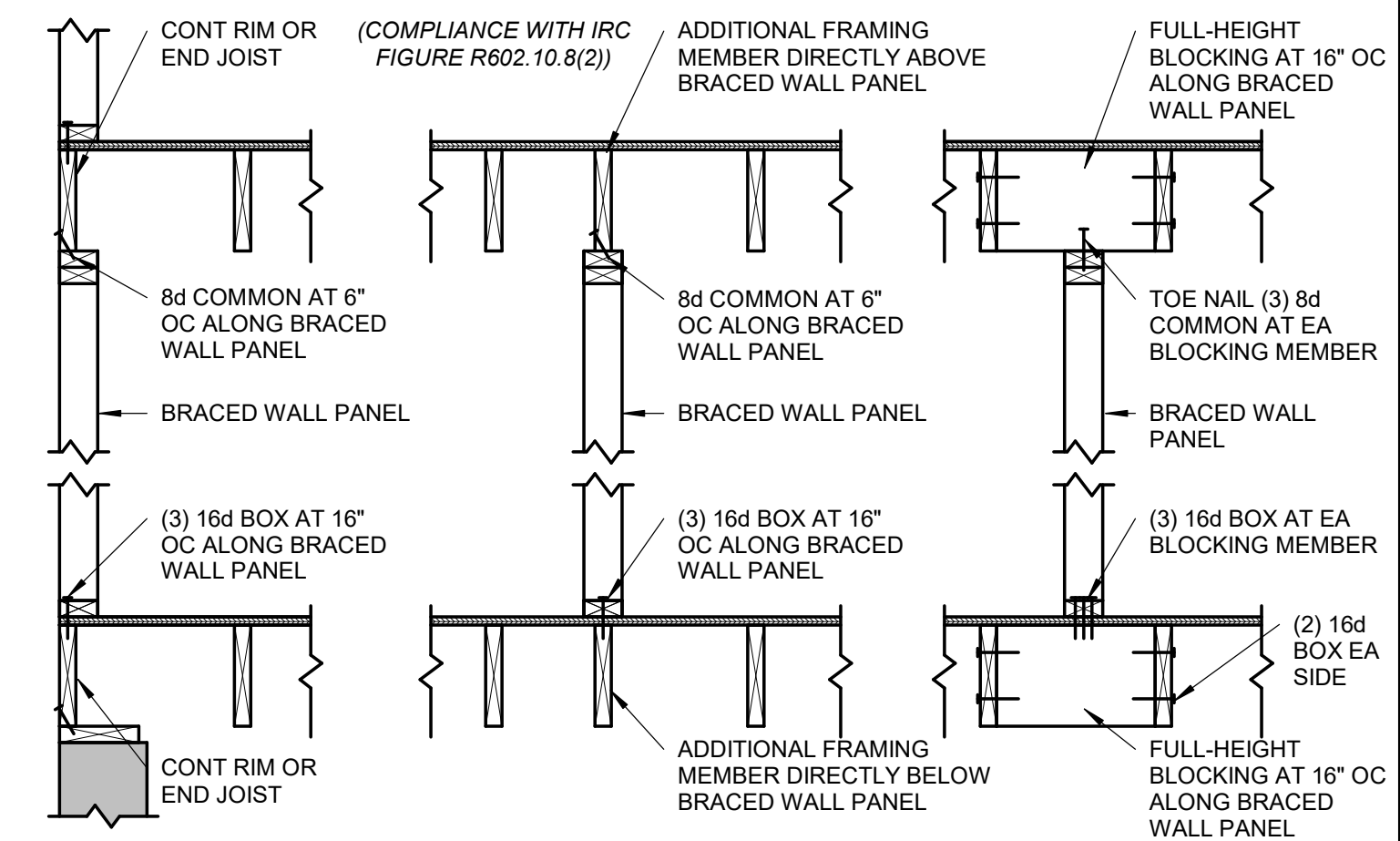
IRC TYPICAL WOOD DETAILS

S524



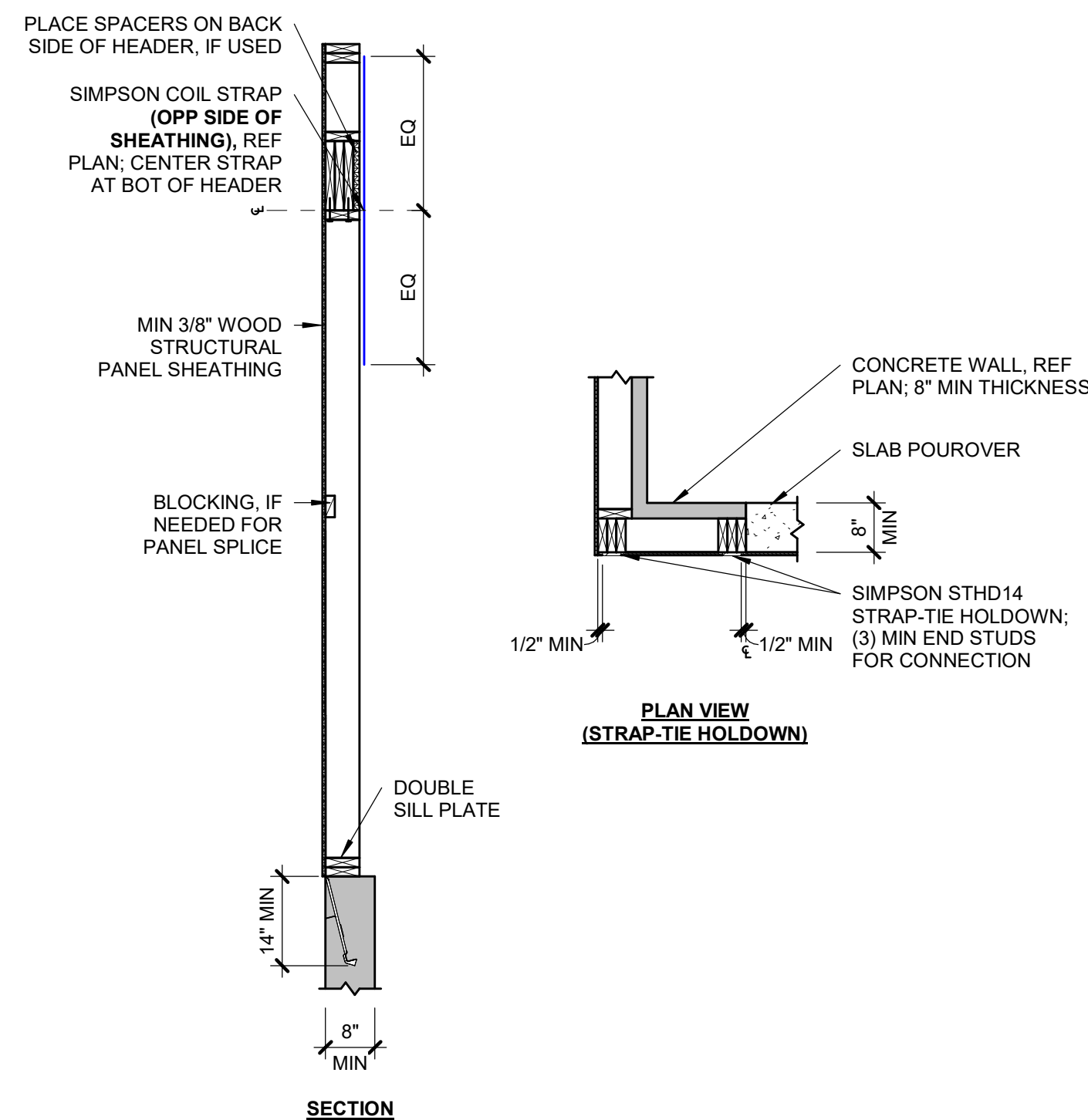
4 BRACED WALL PANEL CONNECTION - PERP TO FLOOR/CEILING FRAMING

S524 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



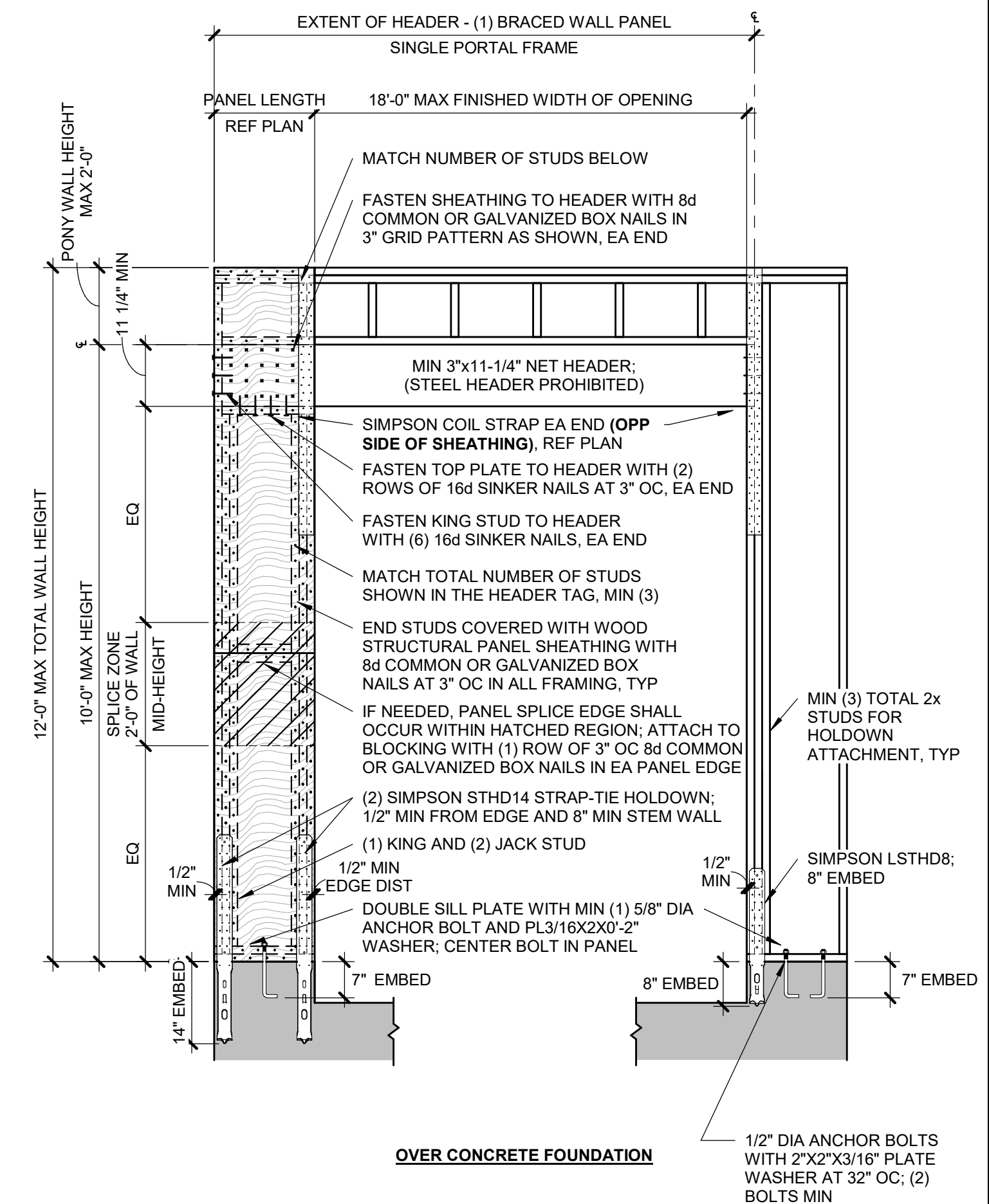
2 BRACED WALL PANEL CONNECTION - PARL TO FLOOR/CEILING FRAMING

S524 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



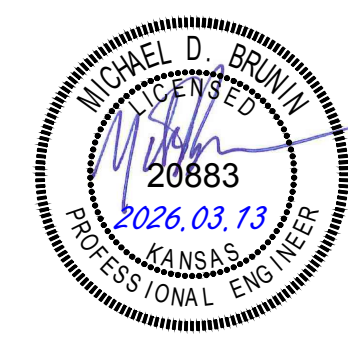
3 IRC PFH BRACED WALL PANEL - SECTIONS

S524 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



1 IRC PFH BRACED WALL PANEL - SINGLE PORTAL FRAME

S524 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



SEAL

TOWNSLEY RESIDENCE

2000 W 71ST ST
PRAIRIE VILLAGE, KS 66208

PERMIT DOCUMENTS

REVISION #	DESCRIPTION	DATE
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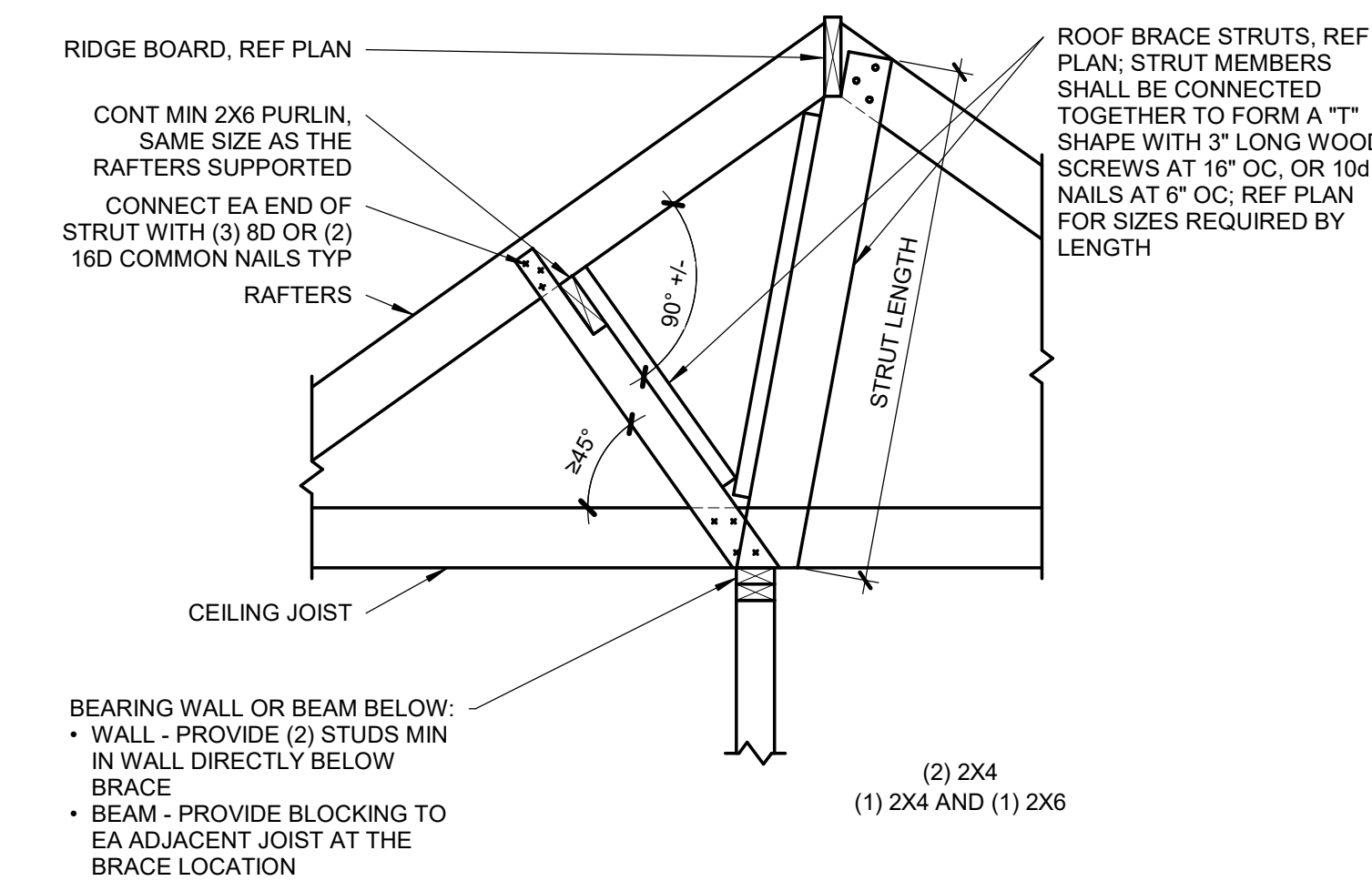


PROJECT NUMBER 2025-37

WOOD ROOF FRAMING DETAILS

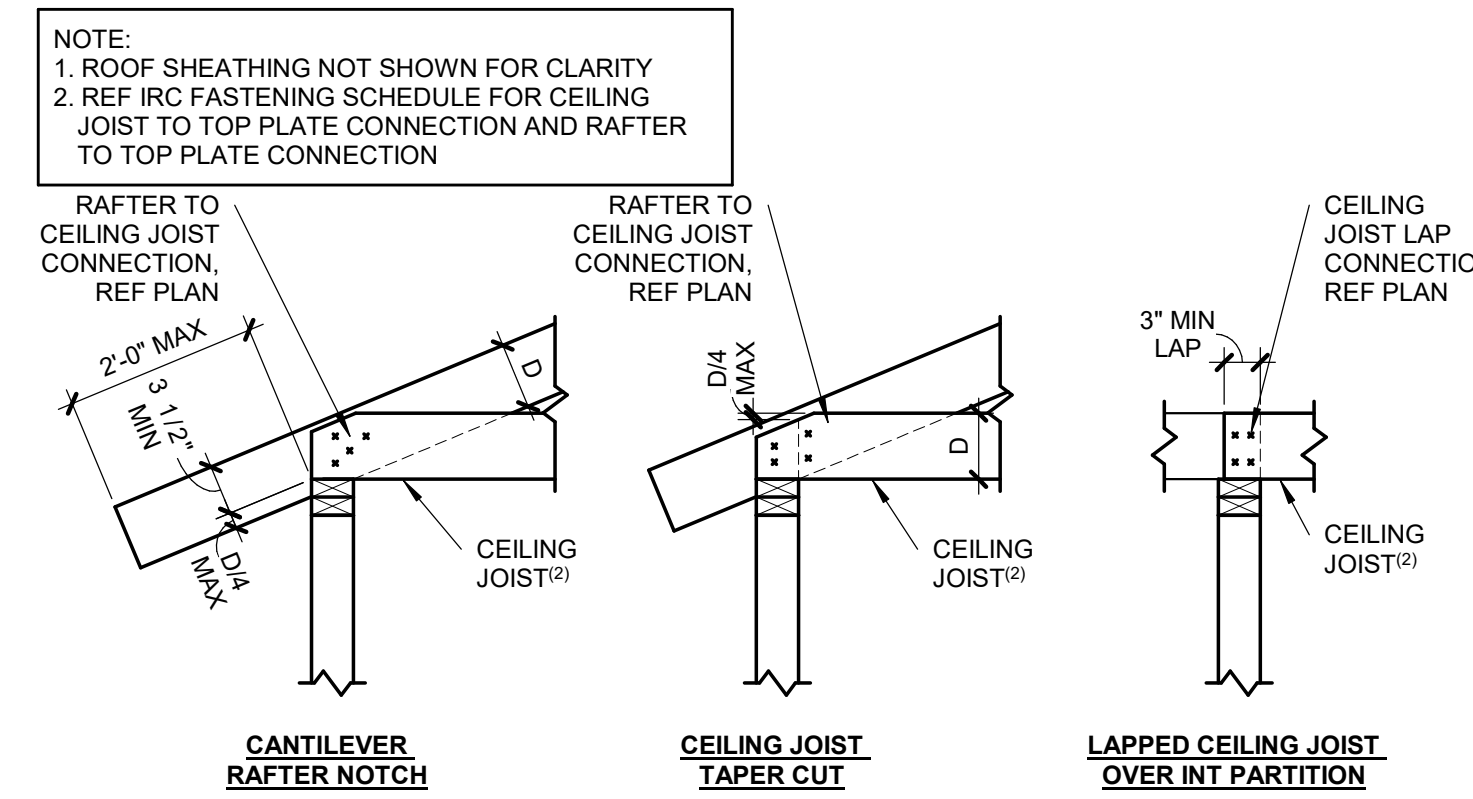
S530

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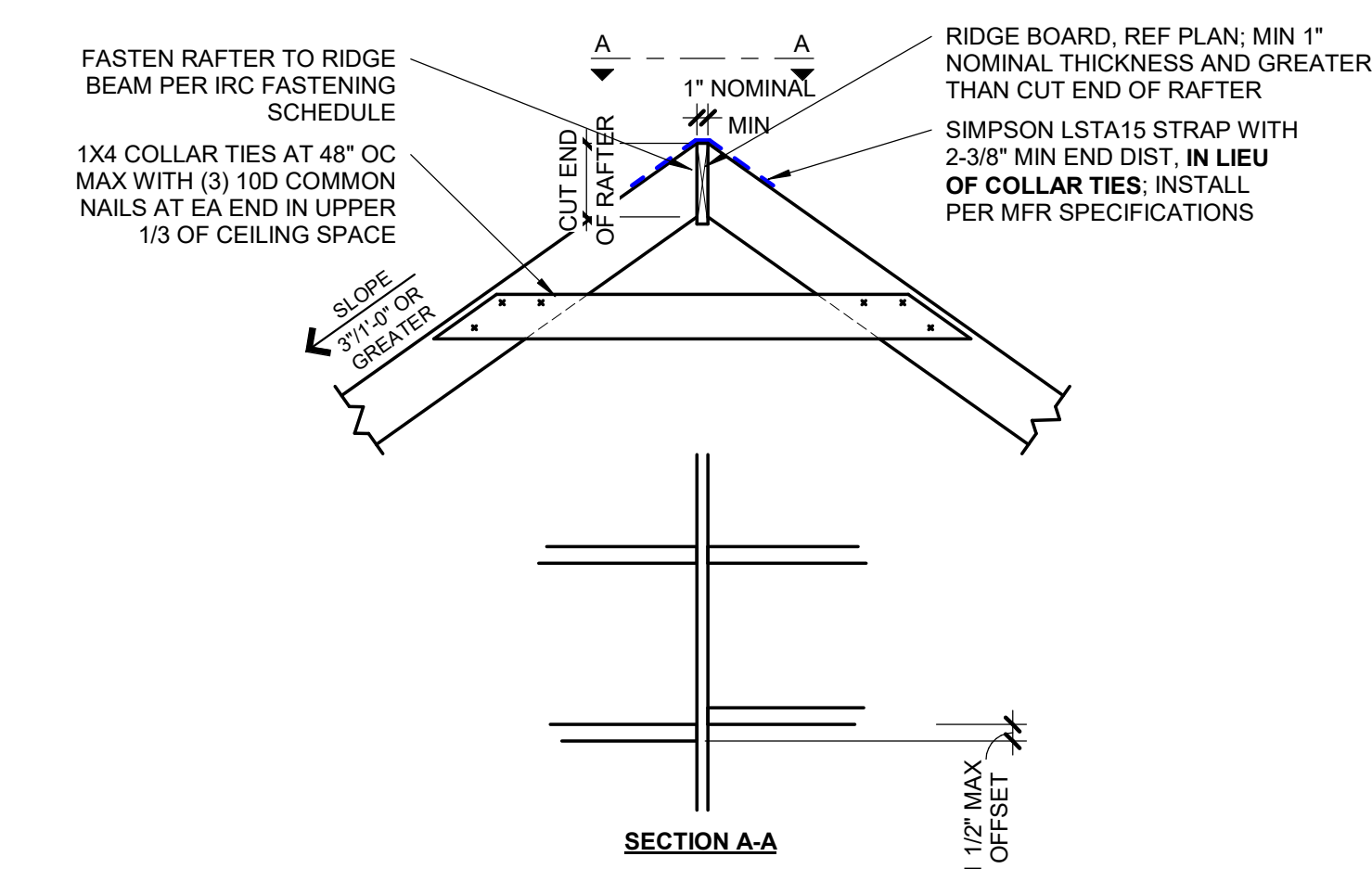
3 PURLIN AND RIDGE BRACE DETAIL

S530 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



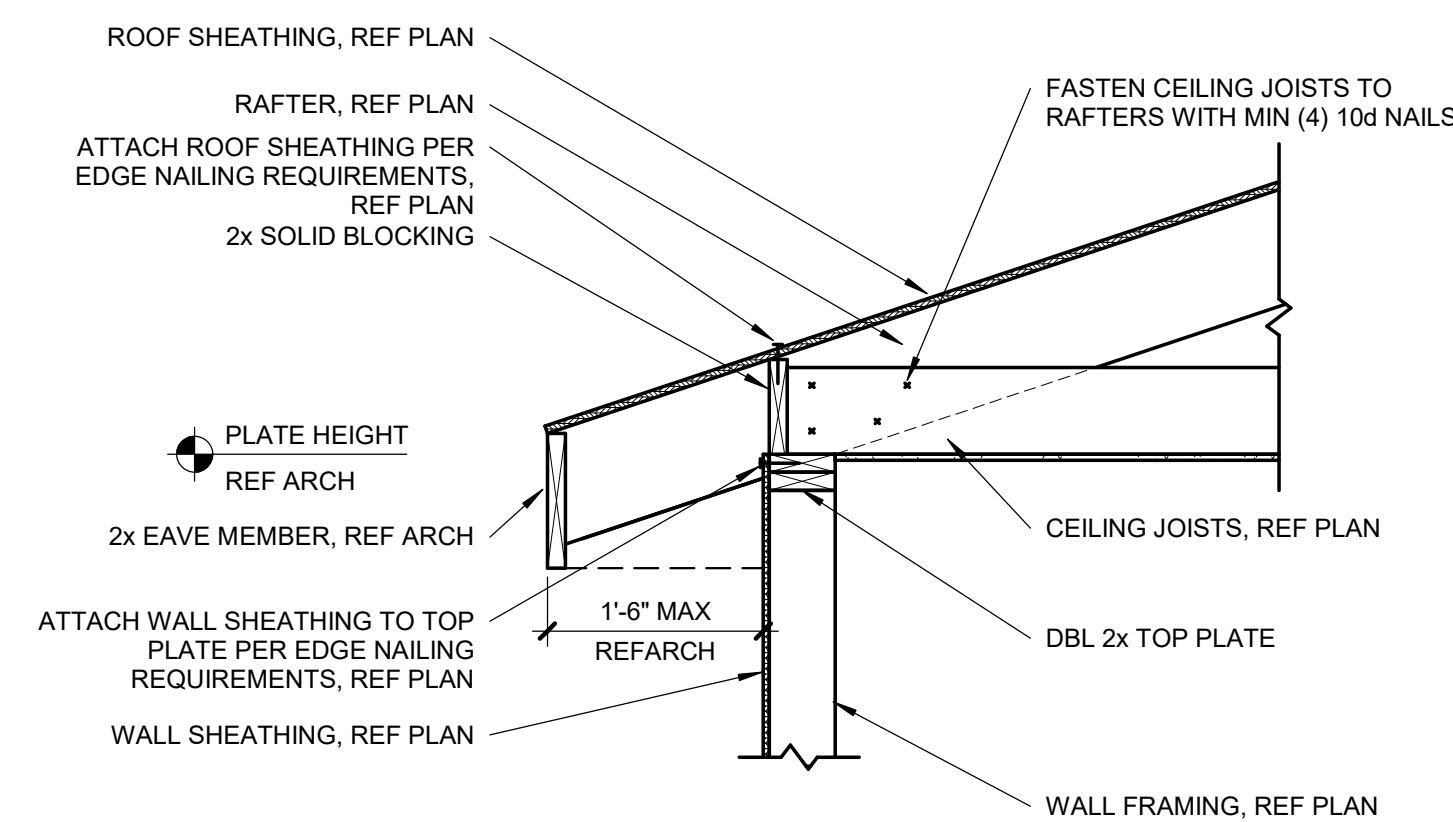
6 HEEL CONNECTION AND NOTCHES

S530 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



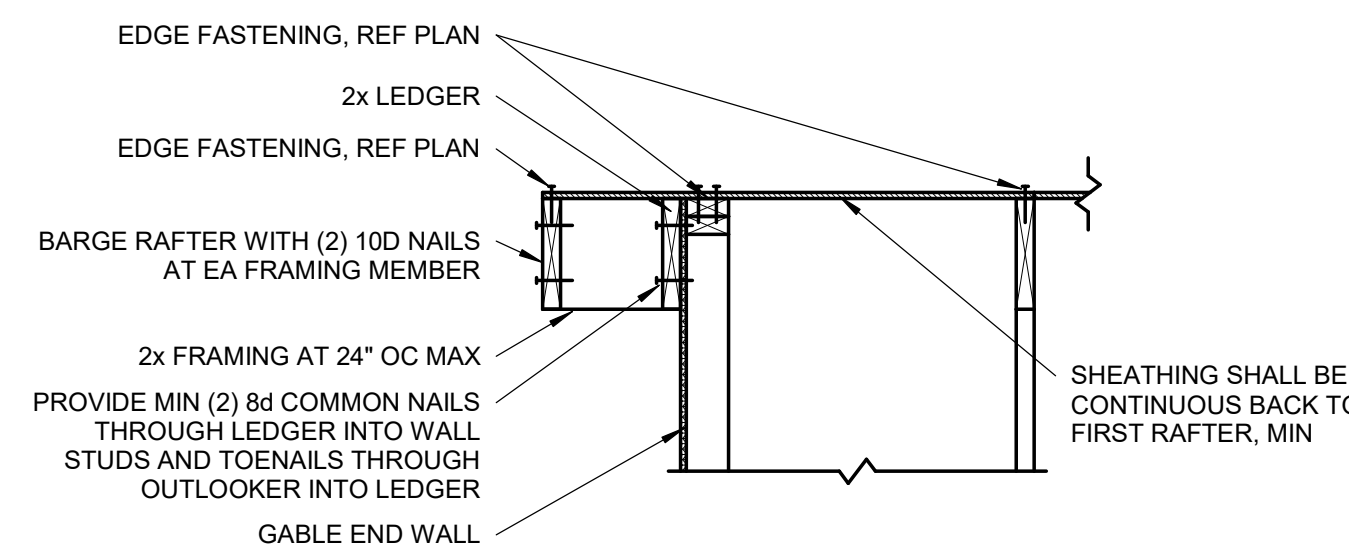
2 RIDGE BEAM COLLAR TIE DETAIL

S530 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



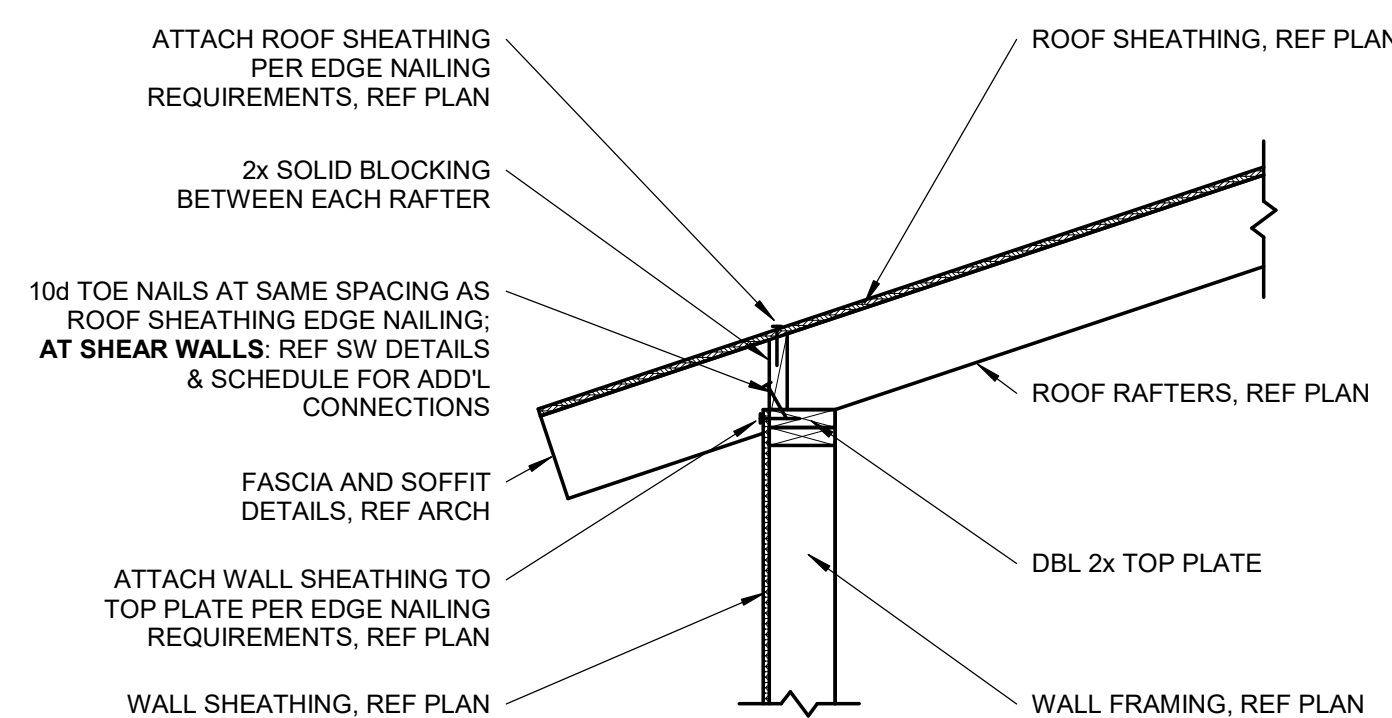
8 RAFTERS BEARING ON EXTERIOR WALL WITH CEILING JOISTS

S530 3/4" = 1'-0"



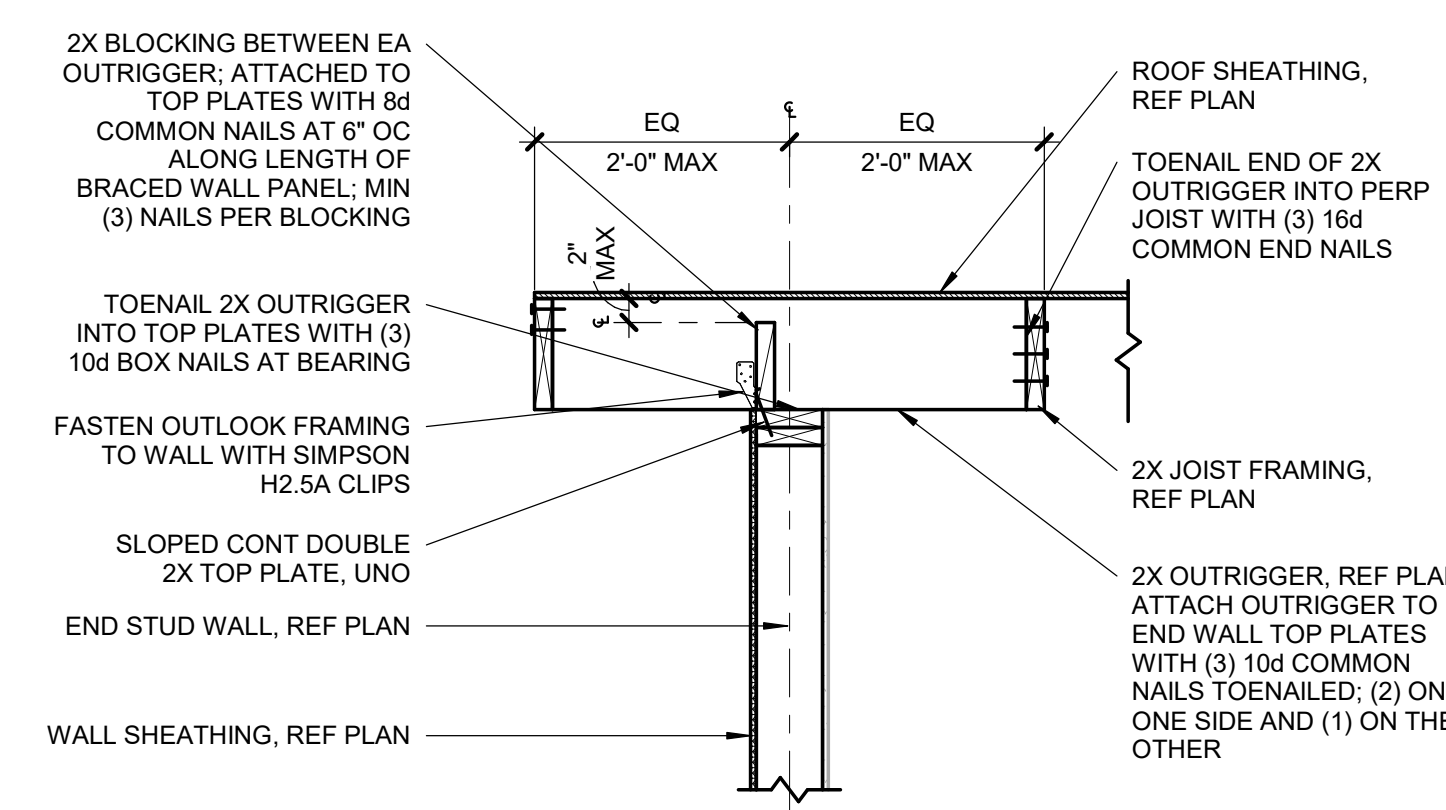
5 OPTIONAL OVERHANG 1'-0" OR LESS

S530 3/4" = 1'-0"



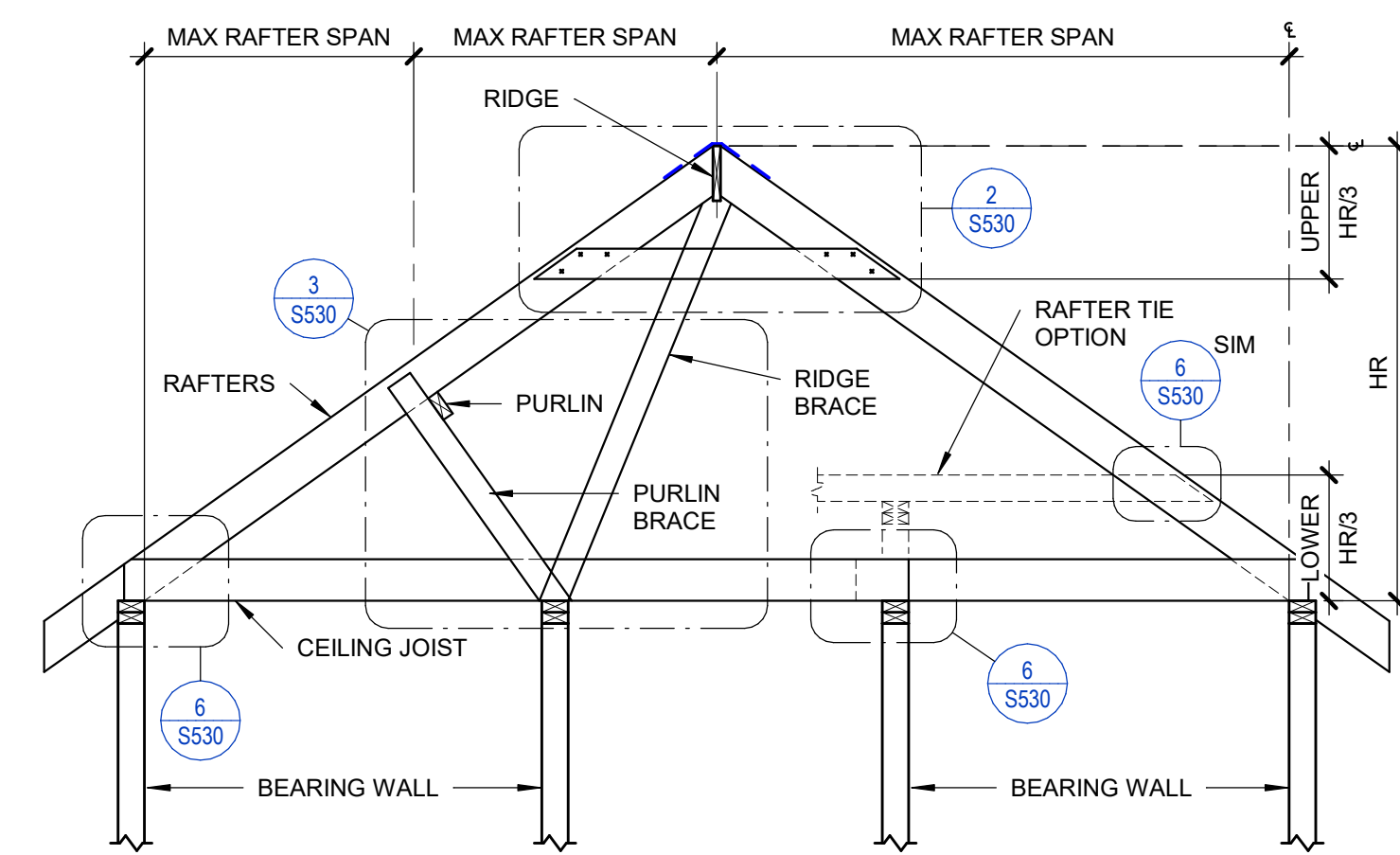
7 RAFTERS PERPENDICULAR AT EXTERIOR WALL

S530 3/4" = 1'-0"



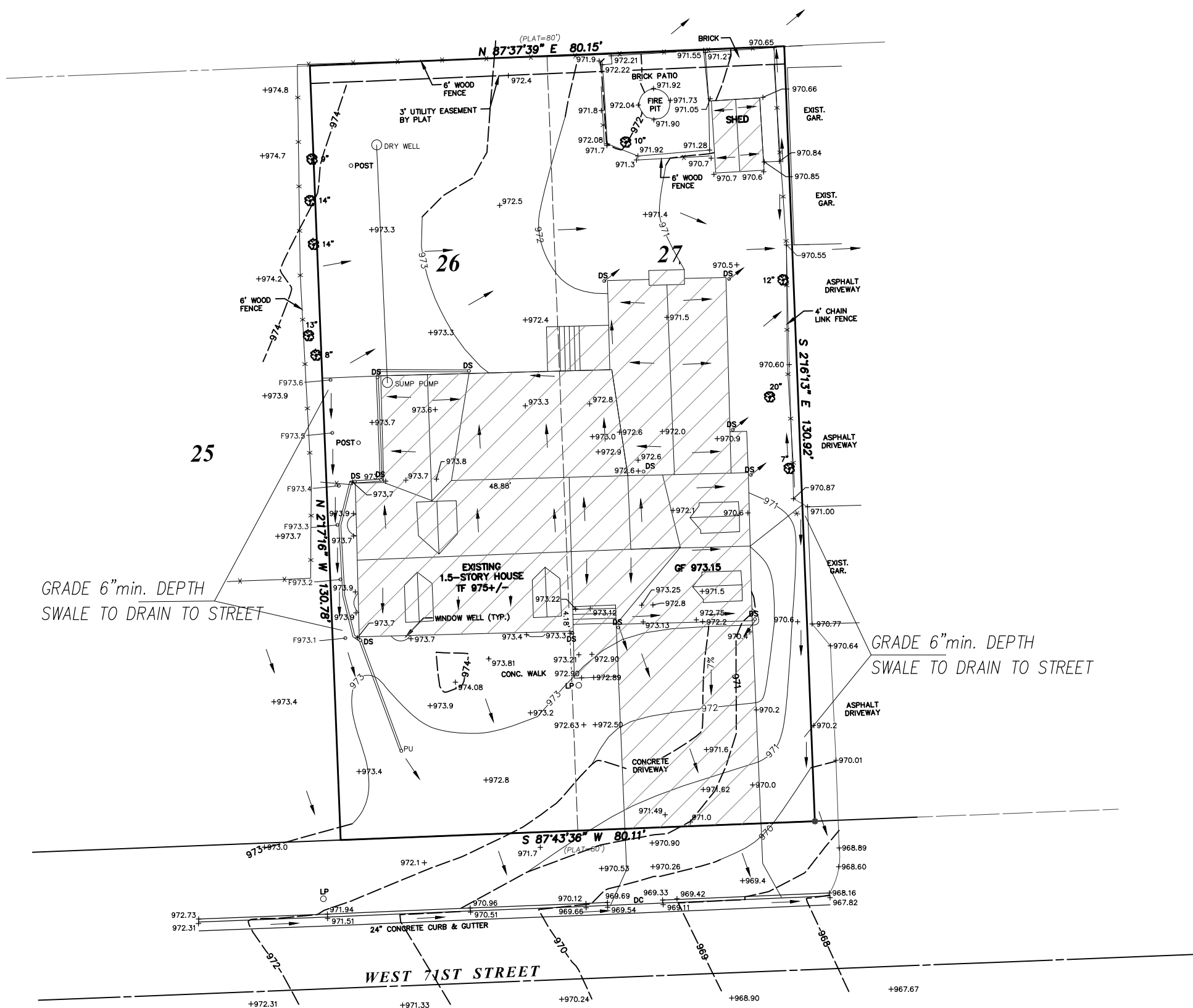
4 2X CANTILEVER OUTRIGGER AT END WALL

S530 3/4" = 1'-0"



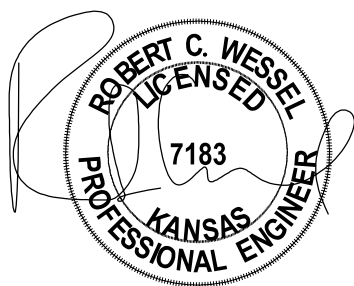
1 TYP ROOF FRAMING DIAGRAM - IRC

S530 NOT TO SCALE THIS DETAIL IS TYPICAL TO THE PROJECT AND MAY NOT BE CUT OR CALLED OUT ON PLANS



GRADE 6"min. DEPTH SWALE TO DRAIN TO STREET

GRADE 6"min. DEPTH SWALE TO DRAIN TO STREET

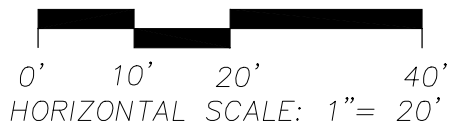


03/27/26

LOT AREA = 10,485 S.F.
PROPOSED IMPERVIOUS = 4,114 S.F.(39.2%)

REAR DRAINAGE AREA = 5,142 S.F.
PROPOSED IMPERVIOUS = 1,088 S.F.
PROPOSED CN = 79
Q100 = 1.12 CFS; V100 = 0.057 AC-FT
Q25 = 0.79 CFS; V25 = 0.040 AC-FT
Q10 = 0.60 CFS; V10 = 0.030 AC-FT
Q2 = 0.32 CFS; V2 = 0.016 AC-FT

STREET DRAINAGE AREA = 5,343 S.F.
PROPOSED IMPERVIOUS = 3,126 S.F.
PROPOSED CN = 88
Q100 = 1.30 CFS; V100 = 0.070 AC-FT
Q25 = 0.97 CFS; V25 = 0.051 AC-FT
Q10 = 0.77 CFS; V10 = 0.040 AC-FT
Q2 = 0.46 CFS; V2 = 0.023 AC-FT



SHEET NO. 02 OF 2	PROPOSED SITE 2000 W. 71st Street PRAIRIE VILLAGE, KANSAS	PREPARED FOR: TRAVIS TOWNSLEY 2000 W. 71st Street PRAIRIE VILLAGE, KANSAS	ROBERT C. WESSEL P.E. consulting engineer 4085 NORTH KOLB ROAD TUCSON, ARIZONA 85750 913-207-6118 EMAIL robertcwessel47@gmail.com	JOB NO.: RCW0311 FIELD BK./PG.: XX/XX ISSUES / REVISIONS: ISSUE	DRAWN: RPP CHECKED: RCW DATE 03-27-26	

04/22/2026

Travis and Jessica Townsley
2000 West 71st Street

Prairie Village, KS 66208

City of Prairie Village Board of Zoning Appeals – Neighborhood Meeting Minutes

- A neighborhood meeting was hosted on Monday, April 20, 2026, at 5:30 PM at our residence, 2000 West 71st Street.
- Attendees included Travis and Jessica Townsley, as well as Bonnie Limbird of 2019 West 71st Street.
- Renovation and addition plans were reviewed and received positive feedback.
- A code variance request for approximately 1.85 feet of additional setback for a two-car garage was discussed; no concerns were expressed.
- Attendees were shown the proposed physical layout of the garage addition using stakes placed in the side yard to provide visual context relative to the lot and neighboring properties.
- The meeting concluded at 5:50 PM.

04/13/2026

Travis and Jessica Townsley

2000 West 71st Street

Prairie Village, KS 66208

Dear Neighbors,

We hope this message finds you well. We are writing to share information about a planned improvement to our home and to invite you to a brief neighborhood meeting.

As part of our home project at 2000 West 71st Street, we are seeking a variance from the City of Prairie Village Board of Zoning Appeals for an adjustment to the side yard setback to accommodate a two-car garage addition. This request will help the project better fit our lot while remaining consistent with the character of the neighborhood.

Per City regulations, we are notifying all property owners within 200 feet of our home and inviting you to a meeting to discuss this variance request. This is an opportunity to learn more, ask questions, or share any feedback.

Meeting Details:

Date: Monday, April 20th, 2026

Time: 5:30 PM

Location: 2000 West 71st Street

Attendance is voluntary, and the meeting will include a brief overview of the project and a chance to address any questions. If you cannot attend but wish to discuss the variance, please contact us at 913.208.2648 or ttownsley2018@gmail.com

Thank you. We value our neighborhood.

Best regards,

Travis and Jessica Townsley

STAFF REPORT

TO: Prairie Village Board of Zoning Appeals
FROM: Chris Brewster, Multistudio, Planning Consultant
DATE: May 5, 2026 Board of Zoning Appeals Meeting

Application: BZA 2026-03

Request: Variance to the cumulative side yard setback from 18.4 feet to 12.9 feet.

Action: *A variance request requires the Board of Zoning Appeals to evaluate facts and weigh evidence, and a majority of the Board must find that all 5 criteria for a variance have been met in order to approve the request.*

Property Address: 5112 W. 67th Street

Applicant: Jesse Crupper, Applicant; Megan & Jeremy Thomas, Owner

Current Zoning & Use: R1-A Single-Family Residential – Single-family house

Surrounding Zoning & Use: **North:** R-1A Single-Family Residential – Single-family house
East: R-1A Single-Family Residential –Single-family house
South: R-1A Single-Family Residential – Single-family house
West: R-1A Single-Family Residential – Single-family house

Legal Description: 16-12-25 E 92' W 192' S 252' E 1/2 E 1/2 SW 1/4 NW 1/4 .534 A PVC-043 (abbreviated)

Property Area: 0.48 acres (20,889.62 s.f.)

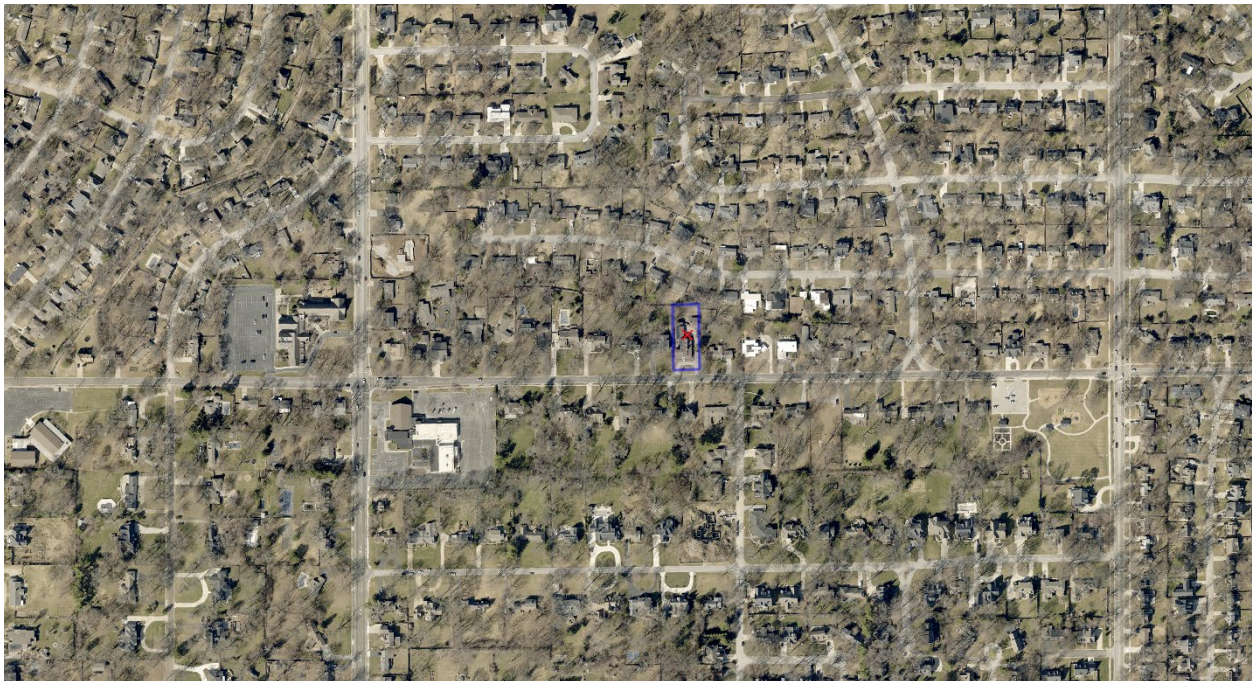
Related Case Files: BZA 2025-04, Variance - accessory building size;

Attachments: Application, variance request form, site & building plans, draft use limitation affidavit

General Location – Map



Aerial Map



Aerial Lot



Birdseye View



Street View



Looking west on W. 67th - 5112 W. 67th in background.



Looking north at 5112 W. 67th Street - accessory building location in background to the right.

SUMMARY:

This application requests a variance for a side setback from 18.4 feet to 12.9 feet – a variance of 5.5 feet. The application is to expand an existing outbuilding and attach it to the main structure with a pergola. By attaching to the main structure, all portions of the main building must meet the setbacks for principal buildings, including the cumulative side setbacks. In this case, the current outbuilding is 6.2 feet from the east property line and the current principal building is 6.7 feet from the west property line at their closest points, for a cumulative side setback of 12.9 feet. The lot is 92 feet wide and requires a cumulative side setback of 18.4 feet (20% of the lot width).

Should the Board find that the request meets the criteria for a variance, there is a related request for an impervious surface exception due to existing conditions on the lot. Any variance should be conditioned on the Planning Commission granting that exception in a separate action.

The applicant had a neighborhood meeting on April 19, 2026, as required by the Prairie Village Resident Participation Policy and has supplemented the application with background on that meeting.

DETAILS:

The property is zoned R-1A and proposes adding to an existing detached accessory building and attaching the building to the main building through a trellis. With the attachment, the building is no longer limited to accessory building standards in terms of its use or dimensions; however, all portions of the buildings are required to meet the dimensional standards of the principal building. The principal building is 6.7 feet from the east property line, and the outbuilding is 6.2 feet from the west property line. The principal building was constructed in 2005 and met the R-1A setbacks at that time and is a legal non-conforming use. The outbuilding meets all accessory building standards. The outbuilding is proposed to be attached to the main building by a trellis. The outbuilding is also proposed to be expanded to the north, but all portions of the expansion are greater than 6.2 feet from the west property line due to the skew of the building and the lot. When the outbuilding is attached by the pergola, it is no longer subject to the limitations of use or dimensions of accessory buildings and must meet all standards of the principal building.

The expansion of the current outbuilding involves expanding its footprint from 573.6 square feet to 993.52 - a 419.92 square foot expansion to the rear (north). The pergola is proposed to attach the principal building and this structure at the rear of the existing garage and the side of the existing outbuilding and would be 132 square feet. This would bring the total building coverage for the lot to 27.5%, which is within the 30% coverage limit allowed in R-1A.

The proposed construction would meet all development and dimension standards except the cumulative side setback, due to the attachment of the outbuilding and the existing placement at 6.2 feet from the east side lot line. This results in a cumulative side setback of 12.9 feet rather than the required 18.4 feet. *[Note: This is accounting for the fact that the front portion of the principal structure is 6.7 feet from the west lot line and is a legal non-conforming situation. The rear part of the principal building is 8 feet*

from the west lot line, and the proposed addition to the outbuilding will be between 6.5 and 7 feet from the east lot line.]

The property also exceeds the impervious requirements due to existing conditions of the driveway, and this is a legal non-confirming situation. However, any additions of structures - even if they meet approved zoning ordinance development standards, would increase this non-conformance. In this case the existing impervious surface cover on this lot is 45%. The addition of the pergola (132 square feet) and the expansion of the building (419.92 square feet) would increase this to 47.5% - a 2.5% expansion in impervious cover. This requires a separate Planning Commission exception based on public works analysis and recommendations. [\[19.06.015\(b\)\]](#). Public Works has requested a drainage study to analyze if the additional 2.5% building coverage will impact any drainage on the property and to determine if the property is eligible for an exception based on the criteria in the ordinance. If the Board finds that the request meets the criteria for a variance, it should be conditioned on the Planning Commission granting an exception to the impervious surface coverage in a separate action.

The existing detached building is approximately 573 square feet and the proposed building is approximately 777 square feet, with an additional 229 square feet covered patio. The building is 20 feet tall at the highest peak and has a 1.5 story profile with a loft included in the pitched roof. It is approximately 6.33 feet from the east (side) property line and 26.33 feet from the north (rear) property line.

R-1A requires the following for principal buildings:

- Front setback 30'
- Rear Setback 25'
- Side Setback:
 - 7' each side
 - 20% of lot width between both sides; and
 - At least 14' between adjacent buildings
- 30% Building coverage
- 40% Impervious coverage

[\[19.06.015\(a\) / Table 19.06.A\]](#)

ANALYSIS

[Section 19.54.030](#) of the Zoning Ordinance requires the Board to find that **all five** of the following conditions are met to grant a variance. If the Board finds that any one of these conditions is not met, a variance should not be granted:

A. Uniqueness

That the variance requested arises from such condition which is unique to the property in question and which is not ordinarily found in the same zone

or district; and is not created by an action or actions of the property owner or the applicant.

In order for the property to meet the condition of uniqueness, it must have some peculiar physical surroundings, shape, or topographical condition that would result in a practical difficulty as distinguished from a mere inconvenience to utilize the property without granting the variance.

The property is zoned R-1A which requires a minimum of 10,000 square feet and minimum 80 feet wide. The lot is 92 feet by 227 feet, and approximately 20,889 square feet. It is situated on a block with a wide variety of lot patterns - ranging from 10,600 square feet to 37,400 square feet. It is one of the larger houses on the block. The property is an unplatted original parcel that predates the City's subdivision regulations and zoning ordinance; however, the existing principal building was constructed on the lot in 2005 to replace an older home. There is an existing accessory building that is approximately 585 square feet and is situated approximately 175 feet from the street.

B. Adjacent Property

That the granting of the permit for the variance would not adversely affect the rights of adjacent property owners or residents.

The proposed building expansion (north of the current accessory building) is approximately 90 feet from the nearest building to the east, and approximately 50 feet from the nearest building to the north (rear to rear orientation). The expanded portion would continue the current relationship to the east lot line, and due to the skew of the lot would be between 6.5 and 7 feet from the east lot line (the current building's closest point is 6.2 feet). The attachment of the two buildings by way of a trellis is internal to the lot and located behind the main building, and has no material impacts on the adjacent property other than what is proposed as a result for the expansion of the current accessory building. The current outbuilding building has a 1.5 story profile along this east elevation with the highest roof point being 20 feet tall. The building would be extended 17.5 feet further than the current wall, with 8 feet of that being a building addition and 9.5 feet of it being a single-story screened porch. This retains a low-scale impact on the adjacent property boundary relative to the entire extent of the side lot line where the majority of the principle building is set back more than 30 feet.

C. Hardship

That the strict application of the provisions of these regulations from which a variance is requested will constitute an unnecessary hardship upon the property owner represented in the application.

The lot is a very large older lot that permits a building capacity beyond what is on the lot currently (according to setbacks and building coverage standards). The property includes a large principal building (approximately 4,600 s.f.), attached garages, and an existing major accessory building (approximately 585 square feet). There is additional capacity on this lot to expand the main building within the development standards or add minor accessory buildings. However, by attaching the current accessory building to the main building, it is no longer subject to the

use and dimension limitations for accessory buildings but is required to meet the standards for the principal building. This results in the application of the cumulative side setback to all structures that are connected to the principal building.

D. Public Interest

That the variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare.

The proposed application is to add to an existing accessory building with a design in keeping with the principal house and existing structure, and to attach two existing buildings by a complimentary architectural feature. Other than the cumulative side setback, the application meets all of the physical and design requirements for accessory structures and major accessory buildings. The proposed construction would meet all development and dimension standards except the cumulative side setback, although there is a related impervious cover issue due to the legal non-conforming status of the current impervious cover on the lot. This is noted to be analyzed as a related, but independent issue as a condition of granting any variance.

E. Spirit and Intent of the Regulation

That the granting of the variance desired would not be opposed to the general spirit and intent of these regulations.

The side setback standards are intended to manage relationships to adjacent lots and buildings. In this case the relationship of adjacent buildings is not changing, other than the expansion of the current accessory building to the north. While this is comparable to what would be permitted for accessory buildings or principal buildings, it does not meet the cumulative side setback. The cumulative side setback is intended to address the scale of buildings in relation to adjacent lots and streetscapes, and put increasing standards on wider lots that cause buildings to vary the footprint of buildings and/or the position of buildings on lots, and to address the rhythm and spacing of building frontages along the streetscape (i.e. the cumulative setback increases proportionately with the lot, even though the absolute setbacks are the same from each side lot line.) In this case, and due to variations in the building footprint, no portion of the building occupies more than 20% of the lot width except at the location where the trellis connects to the existing accessory building. The front portion of the lot with the principal building occupies approximately 62% of the lot (58' wide building); the mid-portion of the lot with the rear of the main building and garage occupies approximately 33% - 43% of the lot (40' wide building and 30' wide garage); and the rear portion of the lot with the outbuilding occupies approximately 28% of the lot (26' wide out building).

EFFECT OF DECISION:

After reviewing the information submitted and considering the testimony during the public hearing, if the Board finds that **all five conditions** are met as required by state statutes and [Section 19.54.030](#) of the Prairie Village Zoning Ordinance, then it may

grant the variance. If the Board does approve the variance, it should be subject to the following conditions:

1. That the variance be granted only to the extent shown with the submitted application and based on submitted plans.
2. The variance, if approved, shall be recorded with the County Register of Deeds within 1 year of approval, including the additional limitation on the use of the buildings.
3. Any variance is conditioned on the Planning Commission granting an exception to the impervious cover standard by a separate action, and Public Works analyzing and approving a drainage study related to the 2.5% impervious cover increase proposed in this application.

Project Description

Requested Action*

Residential Site Plan Review/Exception Request

Legal Description*

16-12-25 E 92' W 192' S 252' E 1/2 E 1/2 SW 1/4 NW 1/4 .534 A PVC-0437

Applicant Information

What are you applying for?

BZA

Applicant Name*

William Trakas

Address*

1600 Genessee St

Owner Name*

Megan Thomas

Location of Property*

5112 W 67th St

Applicant requests consideration of the following: (Describe proposal/request in detail)*

The requested variance seeks limited relief from Section 19.06.015 for impervious surface coverage and combined side yard setbacks.

Variance is requested for:

- Impervious coverage: 47.6% proposed vs. 40% permitted (45% existing)
- Side setbacks: Existing conditions (6'-2 1/2" to 6'-8 1/4") and combined side yards (12.8' provided vs. 18.4' required)

Acknowledgement

Applicant intends to file an application with the Prairie Village Planning Commission or the Prairie Village Board of Zoning Appeals of the City of Prairie Village, Kansas (City). As a result of the filing of said application, the City may incur certain expenses, such as

publication costs, consulting fees, attorney fees and court reporter fees. Applicant hereby agrees to be responsible for and to the City for all costs incurred by the City as a result of said application. Said costs shall be paid within ten (10) days of receipt of any bill submitted by CITY to Applicant It is understood that no requests granted by City or any of its commissions will be effective until all costs have been paid. Costs will be owed whether or not Applicant obtains the relief requested in the application.

Applicant Signature*

William Trakas

Apr 9, 2026

Date*

04/09/2026

Detailed Description of Variance Requested

The requested variance seeks limited relief from Section 19.06.015 for impervious surface coverage and combined side yard setbacks.

The proposed addition is modest (419.92 SF) and maintains the overall scale of the existing home.

Relief is requested for:

- Impervious coverage: 47.6% proposed vs. 40% permitted (45% existing)
- Side setbacks: Existing conditions (6'-2 1/2" to 6'-8 1/4") and combined side yards (12.8' provided vs. 18.4' required)

Adjacent Zoning: North

R1-A

Adjacent Land Use: North

1101 - Single family residence

Adjacent Zoning: South

R1-A

Adjacent Land Use: South

1101 - Single family residence

Adjacent Zoning: East

R1-A

Adjacent Land Use: East

1101 - Single family residence

Adjacent Zoning: West

R1-A

Adjacent Land Use: West

1101 - Single family residence

Present Use of Property

1101 - Single family residence

Proposed Use of Property

1101 - Single family residence

Utility lines or easements that would restrict proposed development

N/A

Provide an explanation for how the following standard is met: Uniqueness

The property is uniquely constrained by existing development patterns, including an established home, accessory structure, and driveway configuration that already result in 45% impervious coverage. The lot's depth (227') and width (92') combined with the placement of the existing residence and drive create limited flexibility for expansion without minor encroachments. The proposal is further influenced by the historic "Creamery" accessory structure, which is intended to be preserved and integrated into the site. These existing conditions are not self-created and limit the ability to comply fully with current standards.

Provide an explanation for how the following standard is met: Adjacent Property

The proposed addition is modest in scale (approximately 420 SF) and is located at the rear of the property, minimizing visibility and impact on adjacent properties. Existing side yard conditions are largely maintained, with only minor deviations (6'-2 1/2" to 6'-8 1/4" where 7' is required). The addition does not significantly alter massing, light access, or privacy conditions for neighboring properties and is consistent with the established residential character of the surrounding neighborhood.

Provide an explanation for how the following standard is met: Hardship

The hardship arises from existing site conditions, including the current building placement, driveway layout, and impervious coverage that is already nonconforming (45% existing vs. 40% permitted). Strict compliance would prevent reasonable improvements to the property, including functional enhancements to the garage and outdoor living areas. The request is minimal in nature—an increase to 47.6% impervious coverage and slight side yard reductions—and represents the least relief necessary to accommodate the addition while maintaining the existing site organization.

Provide an explanation for how the following standard is met: Public Interest

The project will not adversely affect public health, safety, or welfare. The addition is residential in nature, consistent with zoning (R-1A), and does not increase occupancy or intensity of use. Drainage patterns remain consistent with existing conditions, and the modest increase in impervious coverage is negligible relative to the overall site size (20,884 SF). The improvements enhance the usability and longevity of the property without creating negative impacts on infrastructure or neighboring properties.

Provide an explanation for how the following standard is met: Spirit and Intent

The variance maintains the spirit and intent of Section 19.06.015 by preserving appropriate building scale, neighborhood compatibility, and overall site function. The total building coverage remains compliant at 27.5% (below the 30% maximum), and the addition is subordinate to the existing structure. The requested relief is limited and does not undermine the purpose of the code, but rather allows reasonable use of the property while respecting its established character and constraints.

SEAL

5112 W 67th St

5112 W 67th St
 Prairie Village, KS 66208

BZA

REVISION #	DESCRIPTION	DATE
		4/10/2026

NOT FOR CONSTRUCTION

PROJECT NUMBER 2025-34

Site Plan

A001

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PARCEL DATA

OWNER 1:
 THOMAS, MEGAN MCKEE
 TAX PROPERTY ID:
 OF251216-1013
 ACRES:
 0.48 (20,889.62 #2) AIMS
 0.48 (20,884 #2) SURVEY
 ADDRESS:
 5112 W 67TH ST, PRAIRIE VILLAGE, KS 66208
 ZONING:
 R-1A
 LAND USE:
 1101 - SINGLE FAMILY RESIDENCE
 LEGAL DESCRIPTION:
 16-12-25 E 92' W 192' S 252' E 1/2 E 1/2 SW 1/4 NW 1/4 .534 A
 PVC-0437

PROJECT DESCRIPTION

NEW ENCLOSED ADDITION TO THE EXISTING GARAGE; NEW
 SCREENED IN PORCH

19.06.015 - DEVELOPMENT STANDARDS.

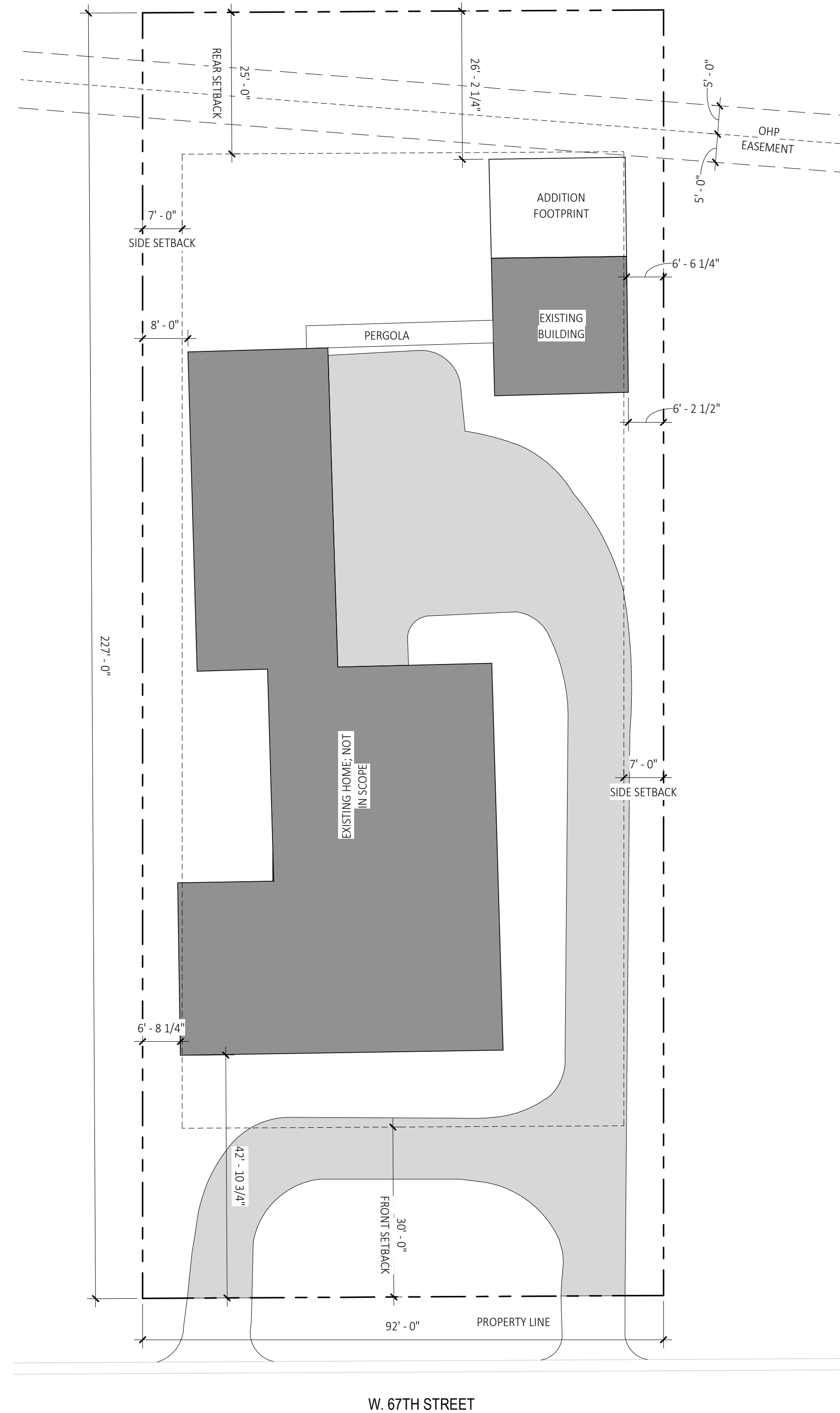
BUILDING COVERAGE - 30% OF LOT MAXIMUM
 LOT SIZE - 20,884 SQ.FT.
 EXISTING HOME - 4,621.57 SQ.FT.
 EXISTING ACCESSORY BUILDING - 573.60 SQ.FT.
 ADDITION FOOTPRINT - 419.92 SQ.FT.
 PERGOLA - 132 SQ.FT.
 TOTAL SQ.FT. - 5,747.09 SQ.FT.
TOTAL BUILDING COVERAGE - 27.5%

IMPERVIOUS SURFACE COVERAGE - 40% OF LOT MAXIMUM
 LOT SIZE - 20,884 SQ.FT. (SURVEY)
 BUILDING COVERAGE - 5,747.09 SQ.FT.
 DRIVEWAY - 4,197.22 SQ.FT.
TOTAL IMPERVIOUS COVERAGE PROPOSED - 47.6%
TOTAL IMPERVIOUS COVERAGE EXISTING - 45%

BUILDING SETBACKS
 FRONT - 30' MINIMUM (42'-10-3/4")
 SIDE - 7' MINIMUM EACH SIDE; (6'-8-1/4" MAX; 6'-2-1/2" MIN)

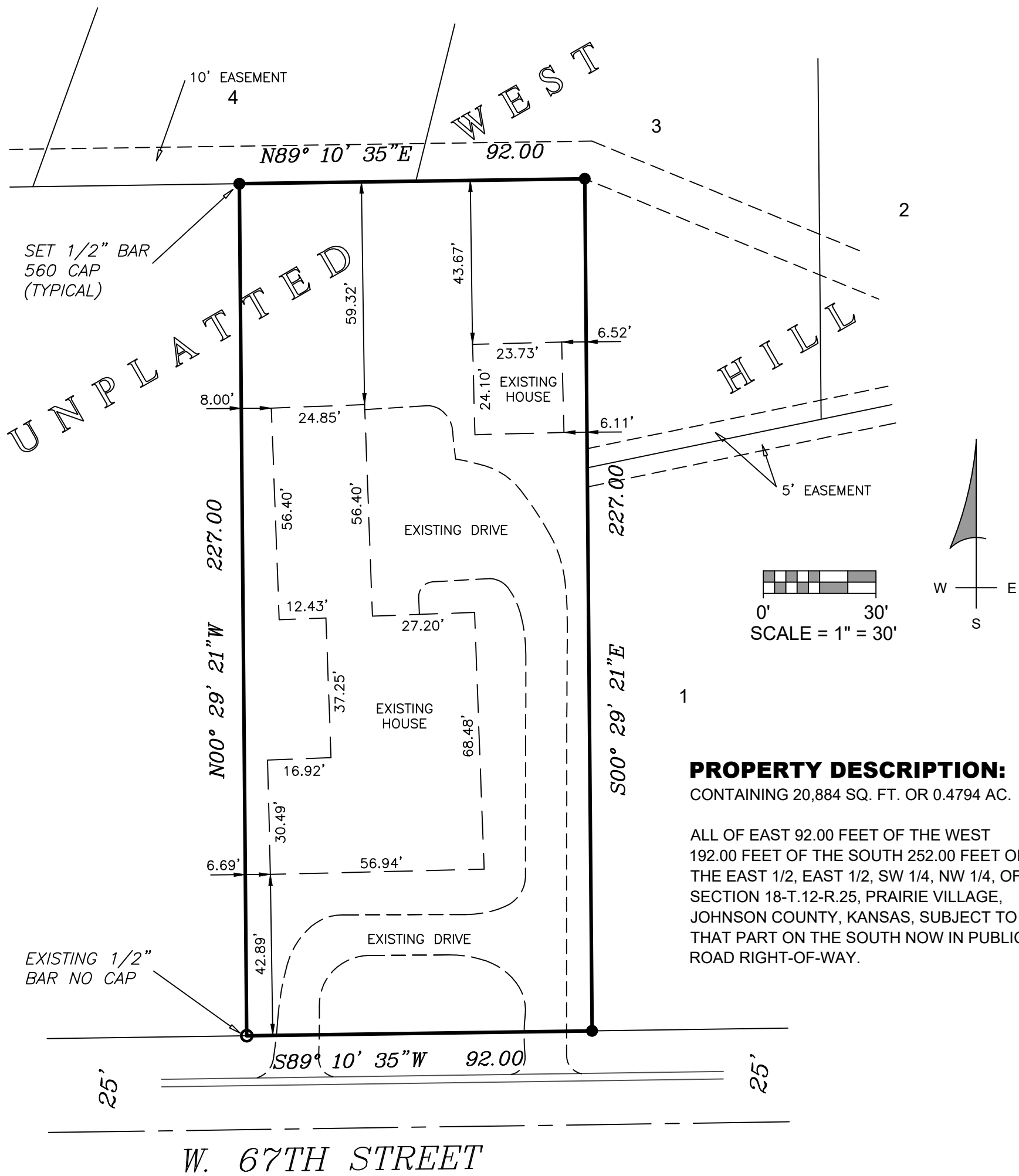
20% OF LOT WIDTH MINIMUM BETWEEN BOTH SIDES; (18.4' REQUIRED)
(12.8) PROVIDED
 REAR - 25' MINIMUM (26'-2-1/4")

HEIGHT - 35' MAX (20'-0")



A9 Site Plan
 1/16" = 1'-0"

Z:\CAD drawing (from home comp)\CAD Drawings\SECTION files\R25\T12\S16\Sec 16-T12-R25 MASTER.dwg, 4/7/2026 1:12:32 PM, DWG To PDF.pc



PROPERTY DESCRIPTION:
CONTAINING 20,884 SQ. FT. OR 0.4794 AC.

ALL OF EAST 92.00 FEET OF THE WEST 192.00 FEET OF THE SOUTH 252.00 FEET OF THE EAST 1/2, EAST 1/2, SW 1/4, NW 1/4, OF SECTION 18-T.12-R.25, PRAIRIE VILLAGE, JOHNSON COUNTY, KANSAS, SUBJECT TO THAT PART ON THE SOUTH NOW IN PUBLIC ROAD RIGHT-OF-WAY.

SURVEY NOTES:

1. SET 1/2" BAR WITH CAP STAMPED "E.W.GARD PLS-560" AT CORNERS MARKED "●".
2. THE BEARINGS SHOWN ARE ASSUMED
3. THE SOURCE OF THE DESCRIPTION USED FOR THIS SURVEY WAS DERIVED FROM AIMS MAPPING AND THE PLAT OF WEST HILL.
4. A TITLE REPORT WAS NOT PROVIDED BY THE CLIENT TO DISCLOSE EASEMENTS THAT MAY AFFECT THE SUBJECT PROPERTY; THEREFORE, THIS SURVEYOR ACCEPTS NO LIABILITY SHOULD THERE BE ANY EASEMENTS THAT AFFECT THE SUBJECT PROPERTY.
5. THIS SURVEY MEETS OR EXCEEDS THE CURRENT "KANSAS MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS".
6. THE SURVEYOR'S "CERTIFICATION" STATEMENT USED HEREON IS MADE TO THE PARTIES NAMED HEREIN AND IS NOT TRANSFERABLE TO ADDITIONAL PARTIES, INSTITUTIONS, OR SUBSEQUENT OWNERS AND MEANS AN EXPRESSION OF PROFESSIONAL BELIEF REGARDING THE DATA SHOWN ON THIS PLAT AND DOES NOT REPRESENT A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

SURVEYORS CERTIFICATION:

I HEREBY CERTIFY THAT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, WE HAVE PERFORMED A SURVEY OF THE PROPERTY DESCRIBED HEREIN AND PREPARED THIS DRAWING IN ACCORDANCE WITH THE CURRENT "KANSAS MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF KANSAS.

ERWIN W. GARD, PLS-560

APRIL 07, 2026
DATE



LAND SURVEYING : BUILDING PERMIT & HOUSE PLAN SERVICES
REAL ESTATE : LARGE FORMAT SCANS & PRINTS

1212 SW Luttrell, Suite C
Blue Springs, Missouri 64015

Phone: 816-295-5951
Web: gardhorizon.com

Erwin W. Gard, Owner
Professional Surveyor ~ Realtor

Cell: 816-853-4559
Email: erwin@gardhorizon.com

BOUNDARY SURVEY

5112 W. 67TH STREET
PART OF THE SW 1/4, NW 1/4, SEC. 16-12-25
PRAIRIE VILLAGE, JOHNSON COUNTY, KANSAS

MEGAN THOMAS

5112 W. 67TH STREET
PRAIRIE VILLAGE, KS 66208

JOB NO.: 1411-2601	
MASTER FOLDER: CAD Drawings\Sec	
SUB FOLDER: R25-T12-S16	
FILE NAME: Sec16-12-25 MASTER	
FIELD BOOK ~ PAGE GPS	
DRAWN BY: E. GARD	

SHEET	OF
1	1

5112 W. 67th Street Meeting Recap

- Questions asked:
 - What variance were we applying for?
 - What are the plans for the creamery?
 - How is it going to fit in with your house?
- We discussed
 - We showed the architectural plans and what the variance was for
 - We also shared with them how we are going to blend the creamery with our main house.

5112 West 67th Street Neighborhood Meeting

Name.

Address

Mary Oman
Holly Cook
PETER GREGG

5100 W. 67th
5113 W 67th St.
5209 W. 67th ST.

4/11/26

Megan and Jeremy Thomas

5112 W. 67th Street

Prairie Village, KS 66208

Dear Neighbors,

We hope this message finds you well. As part of our home construction project at 5112 W. 67th Street, we are seeking a variance from the City of Prairie Village Board of Zoning Appeals to make improvements to our creamery which has been in our backyard since Prairie Village was still a farm. We are hoping to make it more usable for my mother's sewing hobby when she visits. Due to the closeness of our main house and the creamery to the property line, we are seeking a variance because we miss the regulations by 5 feet. The project plans remain the same from the previous time we sent the plans to you.

Per city regulations, we are notifying all property owners within 200 feet of our home project and inviting you to a meeting to discuss this variance request. This is an opportunity to learn more, ask questions, or share any feedback.

Meeting Details:

Date: Sunday, April 19, 2026

Time: 3:00pm

Location: Home Construction Project, 5112 W. 67th Street

Attendance is voluntary, and the meeting will include a brief overview of the project and a chance to address any questions. If you cannot attend but wish to discuss the variance, please contact us at 304-360-1384 or at meganthomas320@gmail.com.

Thank you. We value our wonderful neighborhood.

Best regards,

Megan and Jeremy Thomas

STAFF REPORT

TO: Prairie Village Board of Zoning Appeals
FROM: Chris Brewster, Multistudio, Planning Consultant
DATE: May 5, 2026 Board of Zoning Appeals Meeting

Application: BZA 2026-04

Request: Variance to the cumulative side setback from 16 feet to 9.9 feet.

Action: *A variance request requires the Board of Zoning Appeals to evaluate facts and weigh evidence, and a majority of the Board must find that all 5 criteria for a variance have been met in order to approve the request.*

Property Address: 7808 Cambridge

Applicant: Wade and Kari Holtkamp, Owner

Current Zoning & Use: R1-B Single-Family Residential – Single-family house

Surrounding Zoning & Use: **North:** R-1B Single-Family Residential – Single-family house
East: R-1B Single-Family Residential –Single-family house
South:R-1B Single-Family Residential – Single-family house
West: R-1B Single-Family Residential – Single-family house

Legal Description: CORRECTED PLAT OF MEADOW LAKE (BLOCK 4 TO LOT 7 INCL LOT 1 OF BLOCK 8 BLOCK 9 TO 16 INCL) LT 20 BLK 12 PVC 14114

Property Area: 0.26 acres (11,505.50 s.f.)

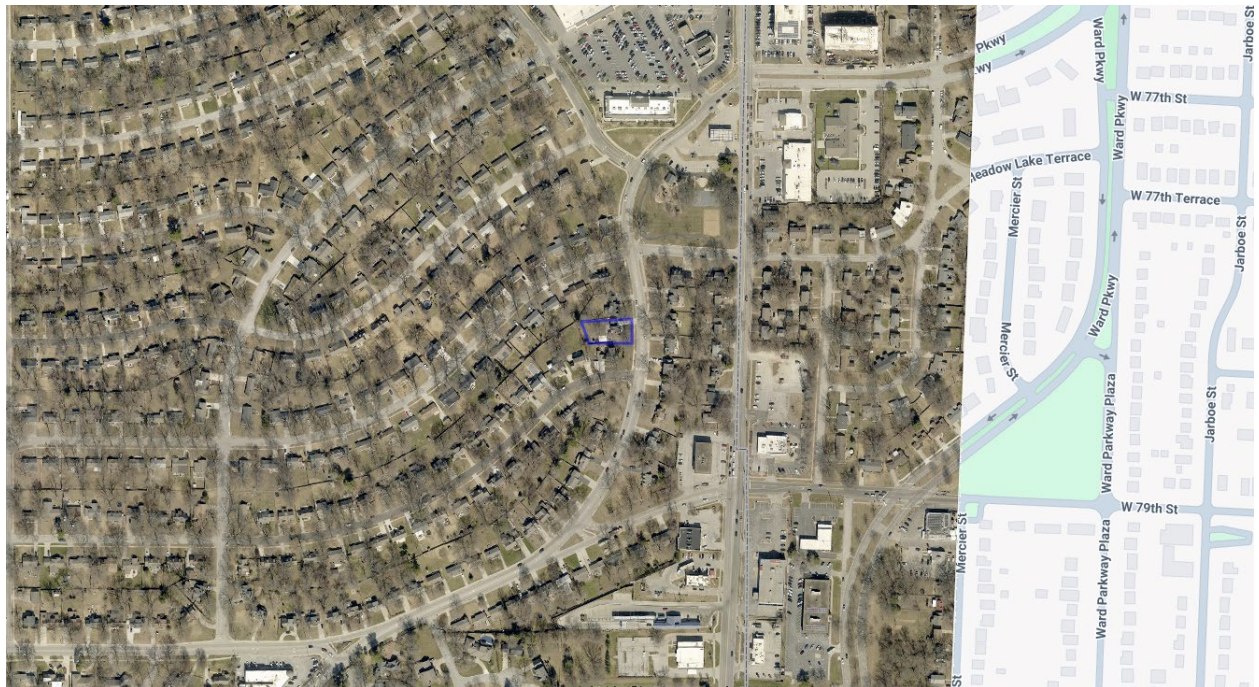
Related Case Files: None

Attachments: Application, variance request form, site & building plans

General Location – Map



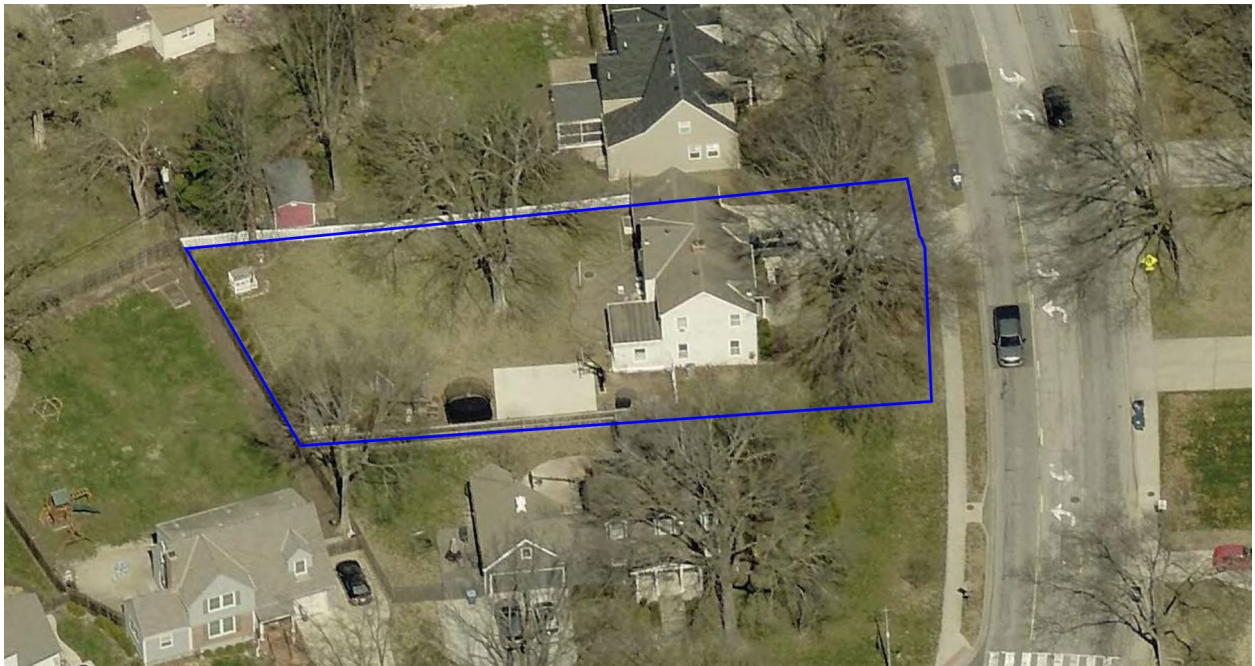
Aerial Map



Aerial Site



Birdseye View



Street View

Looking west on Cambridge Street at 7808 Cambridge.

SUMMARY:

This application requests a variance for a side setback from 12.6 feet to 6.5 – a variance of 6.1 feet. The application is for an addition to the rear and side of an existing home. The requested south side setback of 6.5 feet would be greater than the required 6 feet side setback; however, the north side of the existing home is approximately 3.4 feet from the north side lot line. This property is 80 feet wide and requires a 16-foot cumulative side setback between both sides, necessitating a larger side setback on the south side where the addition is proposed. The proposed building does not meet the cumulative side setback.

The applicant had a neighborhood meeting on April 21, 2026, as required by the Prairie Village Resident Participation Policy and has supplemented the application with background on that meeting.

DETAILS:

The property is zoned R-1B and located on the end grain of a block facing Cambridge Street, between West 79th Street and West 79th Terrace. The lot is 80 feet wide and approximately 151 feet deep. Lots in this area vary between 70 and 85 feet wide, with most either 70 or 75 feet wide, and wider lots on irregular shaped blocks or at the end grain of the block. All property in the vicinity is zoned R-1B and used for residential uses.

R-1B requires the following lot standards and side setbacks:

- 60' lot width
- 100' lot depth
- 6 feet minimum each side
- 20% of the lot width minimum between both sides; and
- At least 12' between adjacent buildings

[\[19.08.015 / Table 19.08.A\]](#)

In this case (80 feet wide lot), a 16 feet cumulative side setback is required. The existing home is situated further to the north side lot line, leaving a larger side yard on the south side. The side setback on the north side is 3.4' - a legal non-conforming situation as the home was built in 1949 prior to adoption of the zoning ordinance and designation of this area as R-1B, and prior to the change in R-1B side setbacks from 4 feet to 6 feet. The north side of the building where the nonconformance exists is only the single-story, two-car garage and does not include any living space for the property. The applicant is proposing to build an addition over an existing single-story area to the rear and south side of the structure that includes an expansion wing in this larger side yard area. The existing house is approximately 18.25 feet from the side property on the south side. As a result of the existing situation, the property would be required to maintain a side setback of 12.6 feet on the south side lot line unless the existing garage were altered or removed. The applicant proposes a side yard setback of 6.5 feet on the south side, rather than the required 12.6 feet - a variance of approximately 6.1 feet. This would meet the R-1B required minimum side yard setback but would not meet the cumulative requirement of 16 feet (due to the 80-foot wide lot and due to the existing garage situated 3.4 feet from the north side lot line).

VARIANCE ANALYSIS (BOARD OF ZONING APPEALS):

[Section 19.54.030](#) of the Zoning Ordinance requires the Board to find that **all five** of the following conditions are met in order to grant a variance. If the Board finds that any one of these conditions is not met, a variance should not be granted:

A. Uniqueness

That the variance requested arises from such condition which is unique to the property in question and which is not ordinarily found in the same zone or district; and is not created by an action or actions of the property owner or the applicant.

In order for the property to meet the condition of uniqueness, it must have some peculiar physical surroundings, shape, or topographical condition that would result in a practical difficulty as distinguished from a mere inconvenience to utilize the property without granting the variance.

This lot is at the "end grain" of a block which means it faces the side street while most of the other lots on the block face the other streets oriented to the longer sides of the block. This block is curved and the east end is wider, allowing for two

lots (including this one) to face Cambridge Street and some resulting irregular internal lot lines that skew these lots and houses slightly. However, all lots in this area are larger than typical R-1B lots with most being wider and deeper than required. Additionally, because of the “end grain” arrangement of this lot, the south side lot line where the variance requested is the functional rear lot line of the house on the south corner of the block. Rather than a conventional side-to-side yard relationship, there is a rear-to-side yard relationship.

B. Adjacent Property

That the granting of the permit for the variance would not adversely affect the rights of adjacent property owners or residents.

This lot is at the “end grain” of a block which means it faces the side street (Cambridge Street) while the lot immediately to the south faces a different street (West 79th Terrace). The lot to the north is also an “end grain” lot so it shares a conventional side-to-side relationship with the subject property. In this case the house immediately to the south (the side where the variance is proposed) had the rear of the house situated nearest the subject property; however, it does not have a typical rear yard and the back of the house, and the larger rear yard is to the west of the home. The area where the addition is proposed shares more of a side-to-side relationship with the existing building to the south. The extent of the proposed addition that would encroach into the required side setback is relatively small (approximately 12 linear feet and a 2-story profile) and the remainder of the rear yard further west and internal to the block and lot remains open and unbuilt, comparable with the yard area of the property to the south.

C. Hardship

That the strict application of the provisions of these regulations from which a variance is requested will constitute an unnecessary hardship upon the property owner represented in the application.

Due to the cumulative side setbacks, wider lots are required to have larger setbacks on one or both sides, and in this case 16 feet rather than just the minimum 6 feet on each side. The project is a rehabilitation and expansion of an existing home, retaining all the existing structure. A large portion of the cumulative side setback (approximately linear 24') is occupied by only the existing 2 car garage on the north side and does not include any living space. Based on these two factors, adding livable space within the setbacks could only occur in a smaller extent to the south or into the rear yard area.

D. Public Interest

That the variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare.

The proposed addition is an expansion of the living area of the existing home, which is all oriented to the south of the existing structure. Since the expansion is on the rear portion of the lot and over an existing one-story rear wing, it maintains a very similar scale and orientation of the existing home. The portion of the proposal that does not comply with the standards is limited to approximately 6.1 feet deep by 14 feet wide, two-story wing on the south side, and this is shifted back

more to the rear of the home. This plan retains the north side of the home exclusively for the garage / utility function and generally maintains a similar relationship to the public streetscape as the existing home. While the cumulative side setback is not met, the minimum single side setback and building separation is met for all proposed new construction.

E. Spirit and Intent of the Regulation

That the granting of the variance desired would not be opposed to the general spirit and intent of these regulations.

The side setback standards are intended to manage relationships to adjacent lots and buildings. In this case the relationship to the adjacent building is a side-rear relationship due to the corner lot orientation of the home to the south. Additionally, this expansion is not nearest the functional rear yard of the home to the south, which is shifted more to the west side of this lot. The application will meet all lot development and neighborhood design standards applicable to this lot, and particularly the standards intended to limit the scale and visibility of garages and driveways along lot frontages.

EFFECT OF DECISION:

After reviewing the information submitted and considering the testimony during the public hearing, if the Board finds that **all five conditions** can be met as required by state statutes and [Section 19.54.030](#) of the Prairie Village Zoning Ordinance, then it may grant the variance. If the Board does approve the variance, it should be subject to the following conditions:

1. That the variance be granted only to the extent shown with the submitted application and based on submitted plans.

Project Description

Requested Action*

Variance

Legal Description*

Applicant and owner(s) at 7808 Cambridge St seeking relief from strict interpretation of chapter 19.08 - District R-1b Single Family Resident District, section 19.08.015 Development Standards, side yard setback 20% of lot width minimum between both sides. Applicant desires to build an addition to the rear and south yard. Code requires 20% of property width (80 feet) of both side yard setbacks (16') between both side yards. North side yard setback (3.37') to a legal non-standard to a garage which is presumed to have been built several decades ago. South side yard is (18.44'). Application is requesting a variance to have a 6-foot setback in the south yard for the addition. The neighboring property home to the south yard is 15.95' from property line and 22.33' from proposed addition.

Applicant Information

What are you applying for?

BZA

Applicant Name*

Wade Holtkamp

Address*

7808 Cambridge St

Owner Name*

Wade Holtkamp and Kari Holtkamp

Location of Property*

7808 Cambridge St

Applicant requests consideration of the following: (Describe proposal/request in detail)*

Applicant and owners Wade and Kari Holtkamp have lived at 7808 Cambridge St for over 16 years and are raising two girls, 8 and 10. Their home is a 1949 two story 3-bedroom colonial style home with an attached garage and unfinished basement. The family has made many neighborhood friends and developed a deep love of Prairie Village's unique charm with its

historic homes and mature trees.

Wade and Kari would like to update their home to create a new dedicated ground floor office space since Kari works fully remotely from home (employer is Saint Luke's and current desk is in a cramped corner of the master bedroom), more closet storage space, larger modern bathrooms, and add a 4th bedroom while improving the functionality and layout of the home. A second-floor washer and dryer is proposed, removing it from a cramped basement corner to allow better accessibility and enable the owners to age in place for the future. Also to note the current rear sunroom has a flat roof that has attempted to be fixed several times over the years but continues to have severe leaking each time it rains, limiting its functionality for the family.

To save on cost, instead of a tear down and rebuild or move, they would like to build on to the home to the rear and the south side yard. They plan to keep the home's historic elements from the front with minimal expansion.

During the building design planning with their engineer some problems arose. First the family put in a multipurpose concrete sport court several years ago which is in close proximity to the rear of the house. The court was built close to the house since it was the only level area available, with the rest of the backyard having a significant uphill grade. This was done to allow a safe space with a level surface to allow the children to play. The home front drive has a large grade slope and Cambridge St has a high traffic count funneling to State Line Road, so the backyard is the safest play area for the children.

The other problem is the family's only backyard tree is also located in close proximity to the home with its tree canopy and underground root system. The tree is rare and historic, a 50 year plus Ash tree that was said by their arborist to be a prized Johnson County specimen. The tree receives trunk injections bi-yearly to keep it alive as most of the area's Ash trees have fallen victim to the Ash Boar. The owners have been working hard to keep this historic tree alive since it represents Prairie Village's history.

The design created allows minimal expansion to the rear so as not to affect the Ash tree and multipurpose court with an expansion to the south where a large setback gap between the neighbor's home is already present. The neighboring property home to the south yard is 15.95' from property line and 22.33' from proposed addition.

The applicants and owners are seeking relief from strict interpretation of chapter 19.08 - District R-1b Single Family Resident District, section 19.08.015 Development Standards,

side yard setback 20% of lot width minimum between both sides. Code requires 20% of property width (80 feet) of both side yard setbacks (16') between both side yards. North side yard setback (3.37') to a legal non-standard garage which is presumed to have been built several decades ago. South side yard is (18.44'). Application is requesting a variance to have a 6-foot setback in the south yard for the addition.

1. Uniqueness

This property has many unique elements. The legal non-standard attached garage built many decades ago which placement creates a minimal north setback, a 50 year plus mature Ash tree in close proximity to the rear of the home along with its root structure and tree canopy, a child's favorite backyard sport court also in close proximity to the rear of the home required due to home being on busy street, the lot to the south is abutting with its rear yard.

2. Adjacent property

The property lot placement which south side yard abuts a neighboring lot rear yard has a current large existing setback gap of 15.95' from property line and 22.33' from proposed addition. This gap allows an ample amount of space for light, ventilation, and enjoyment of the neighboring properties space.

3. Hardship

If the code is strictly followed, the current required setback distance is 16 feet between both side yards with the current lot width of 80 feet makes the side yard combined 20% distance 16 feet. The legal non-standard garage has a 3.37' setback making the south setback 12.63'. This would not allow space for the proposed new second floor main bedroom or the ground floor dedicated office space/children's playroom. If the building design is modified to build to the rear more, it would require demoing the existing sport court or removing the Ash tree or much of its tree canopy and or root base, likely causing the historic tree to die.

4. Public interest

The south setback variance abuts one neighbor's backyard with a current spacing gap which provides ample amount of space for light, ventilation, and enjoyment of the neighboring properties space. The building will follow the city design code constructed of high-quality materials and blending the building with the character of the house keeping its historic charm.

5. Spirit and intent

It is believed the spirit and intent of the code will still be followed as the 20% wide element was to ensure ample spacing between home and in particular new construction where the home might be large in scale to the lot. This minimal home addition still provides ample spacing with setback gap of 15.95' from property line and 22.33' from proposed addition.

It is important to the Holtkamp family that they maintain their stewardship of their historic home so that Prairie Village retains its special charm. In the words of their youngest daughter, "our home has history!" In closing, if this requested variance is granted it will allow the Holtkamp family to make it their forever home by creating a bit more space to raise their family, making the floor plan more accessible as the homeowners age, and creating a functional space to maybe someday entertain grandkids. Thank you for your consideration!

Acknowledgement

Applicant intends to file an application with the Prairie Village Planning Commission or the Prairie Village Board of Zoning Appeals of the City of Prairie Village, Kansas (City). As a result of the filing of said application, the City may incur certain expenses, such as publication costs, consulting fees, attorney fees and court reporter fees. Applicant hereby agrees to be responsible for and to the City for all costs incurred by the City as a result of said application. Said costs shall be paid within ten (10) days of receipt of any bill submitted by CITY to Applicant It is understood that no requests granted by City or any of its commissions will be effective until all costs have been paid. Costs will be owed whether or not Applicant obtains the relief requested in the application.

Applicant Signature*

Wade Edward Holtkamp

Apr 10, 2026

Date*

04/10/2026

Board of Zoning Appeals Only - Complete Only if Instructed

Detailed Description of Variance Requested

Applicant and owner(s) at 7808 Cambridge St seeking relief from strict interpretation of chapter 19.08 - District R-1b Single Family Resident District, section 19.08.015 Development Standards, side yard setback 20% of lot width minimum between both sides. Applicant desires to build an addition to the rear and south yard. Code requires 20% of property width (80 feet) of both side yard setbacks (16') between both side yards. North side yard setback (3.37') to a legal non-standard to a garage which is presumed to have been built several decades ago. South side yard is (18.44'). Application is requesting a variance to have a 6-foot setback in the south yard for the addition. The neighboring property home to the south yard is 15.95' from property line and 22.33' from proposed addition.

Applicant and owners Wade and Kari Holtkamp have lived at 7808 Cambridge St for over 16 years and are raising two girls, 8 and 10. Their home is a 1949 two story 3-bedroom colonial style home with an attached garage and unfinished basement. The family has made many neighborhood friends and developed a deep love of Prairie Village's unique charm with its historic homes and mature trees.

Wade and Kari would like to update their home to create a new dedicated ground floor office space since Kari works fully remotely from home (employer is Saint Luke's and current desk is in a cramped corner of the master bedroom), more closet storage space, larger modern bathrooms, and add a 4th bedroom while improving the functionality and layout of the home. A second-floor washer and dryer is proposed, removing it from a cramped basement corner to allow better accessibility and enable the owners to age in place for the future. Also to note the current rear sunroom has a flat roof that has attempted to be fixed several times over the years but continues to have severe leaking each time it rains, limiting its functionality for the family.

To save on cost, instead of a tear down and rebuild or move, they would like to build on to the home to the rear and the south side yard. They plan to keep the home's historic elements from the front with minimal expansion.

During the building design planning with their engineer some problems arose. First the family put in a multipurpose concrete sport court several years ago which is in close proximity to the rear of the house. The court was built close to the house since it was the

only level area available, with the rest of the backyard having a significant uphill grade. This was done to allow a safe space with a level surface to allow the children to play. The home front drive has a large grade slope and Cambridge St has a high traffic count funneling to State Line Road, so the backyard is the safest play area for the children.

The other problem is the family's only backyard tree is also located in close proximity to the home with its tree canopy and underground root system. The tree is rare and historic, a 50 year plus Ash tree that was said by their arborist to be a prized Johnson County specimen. The tree receives trunk injections bi-yearly to keep it alive as most of the area's Ash trees have fallen victim to the Ash Boar. The owners have been working hard to keep this historic tree alive since it represents Prairie Village's history.

The design created allows minimal expansion to the rear so as not to affect the Ash tree and multipurpose court with an expansion to the south where a large setback gap between the neighbor's home is already present. The neighboring property home to the south yard is 15.95' from property line and 22.33' from proposed addition.

It is important to the Holtkamp family that they maintain their stewardship of their historic home so that Prairie Village retains its special charm. In the words of their youngest daughter, "our home has history!" In closing, if this requested variance is granted it will allow the Holtkamp family to make it their forever home by creating a bit more space to raise their family, making the floor plan more accessible as the homeowners age, and creating a functional space to maybe someday entertain grandkids. Thank you for your consideration!

Adjacent Zoning: North

R1B

Adjacent Land Use: North

Single family residential dwelling

Adjacent Zoning: South

R1B

Adjacent Land Use: South

Single family residential dwelling

Adjacent Zoning: East

R1B

Adjacent Land Use: East

Single family residential dwelling

Adjacent Zoning: West

R1B

Adjacent Land Use: West

Single family residential dwelling

Present Use of Property

R1B, Single family residential dwelling

Proposed Use of Property

R1B, Single family residential dwelling

Utility lines or easements that would restrict proposed development

No utility lines or easements that will restrict development

Provide an explanation for how the following standard is met: Uniqueness

Uniqueness

This property has many unique elements. The legal non-standard attached garage built many decades ago which placement creates a minimal north setback, a 50 year plus mature Ash tree in close proximity to the rear of the home along with its root structure and tree canopy, a child's favorite backyard sport court also in close proximity to the rear of the home required due to home being on busy street, the lot to the south is abutting with its rear yard.

Provide an explanation for how the following standard is met: Adjacent Property

Adjacent property

The property lot placement which south side yard abuts a neighboring lot rear yard has a current large existing setback gap of 15.95' from property line and 22.33' from proposed addition. This gap allows an ample amount of space for light, ventilation, and enjoyment of the neighboring properties space. The granting of the variance will not be materially detrimental or adversely affect the rights of adjacent property owners or residents.

Provide an explanation for how the following standard is met: Hardship

Hardship

If the code is strictly followed, the current required setback distance is 16 feet between

both side yards with the current lot width of 80 feet makes the side yard combined 20% distance 16 feet. The legal non-standard garage has a 3.37' setback making the south setback 12.63' This would not allow space for the proposed new second floor main bedroom or the ground floor dedicated office space/children's playroom. If the building design is modified to build to the rear more, it would require demoing the existing sport court or removing the Ash tree or much of its tree canopy and or root base, likely causing the historic tree to die creating a hardship to the applicant.

Provide an explanation for how the following standard is met: Public Interest

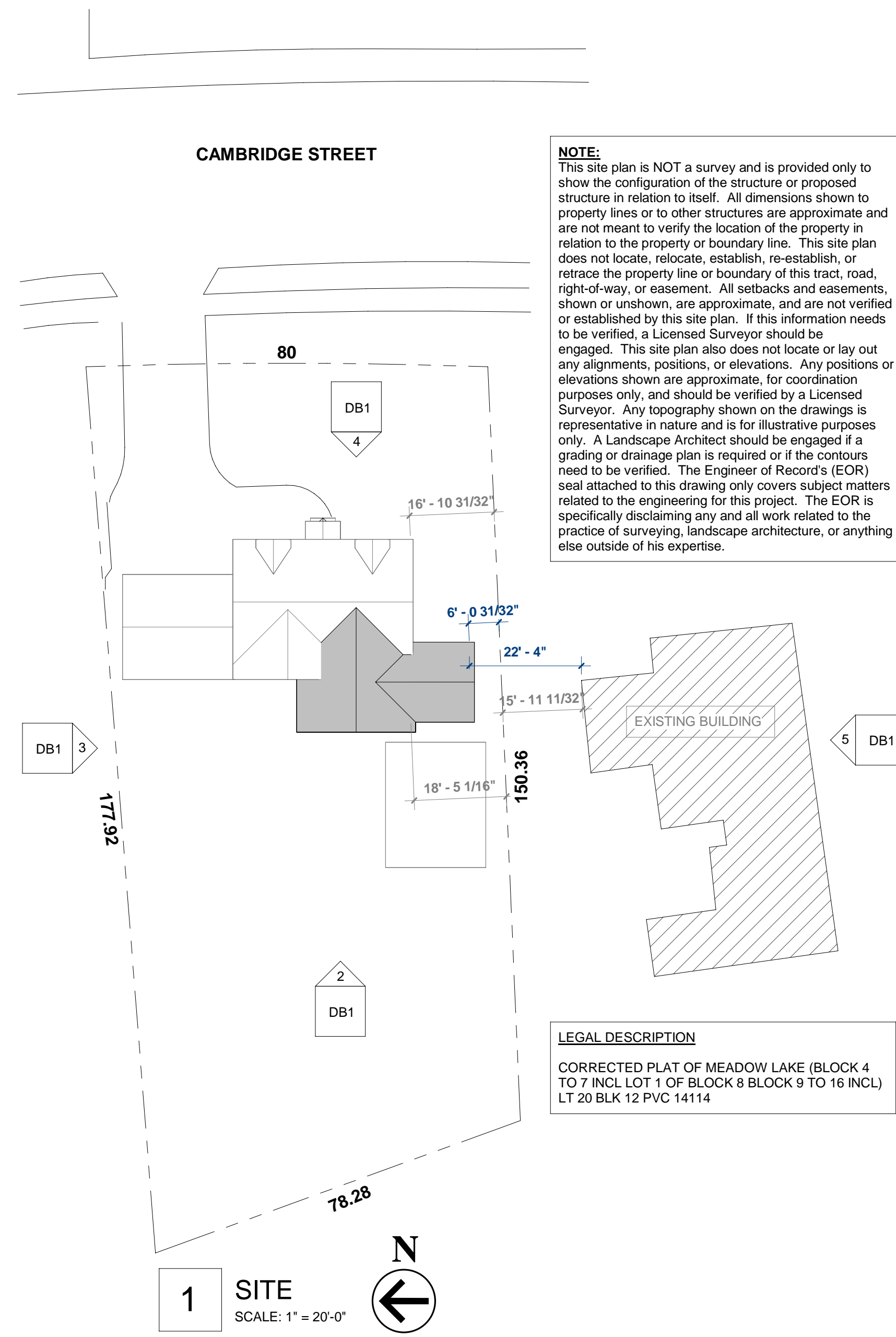
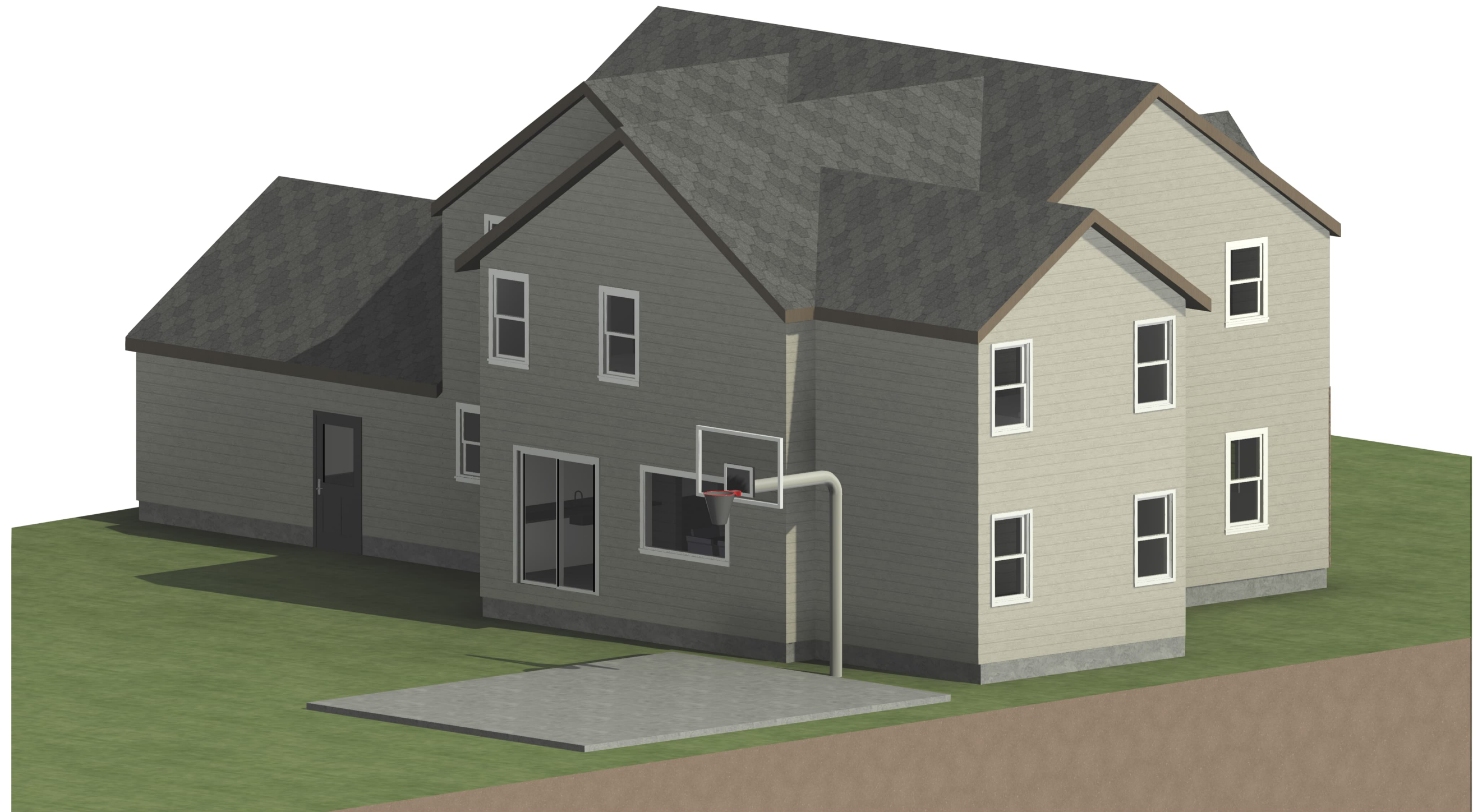
Public interest

The south setback variance abuts one neighbor's backyard with a current spacing gap which provides ample amount of space for light, ventilation, and enjoyment of the neighboring properties space. The building will follow the city design code constructed of high-quality materials and blending the building with the character of the house keeping its historic charm. The variance would not adversely affect the public or community.

Provide an explanation for how the following standard is met: Spirit and Intent

Spirit and intent

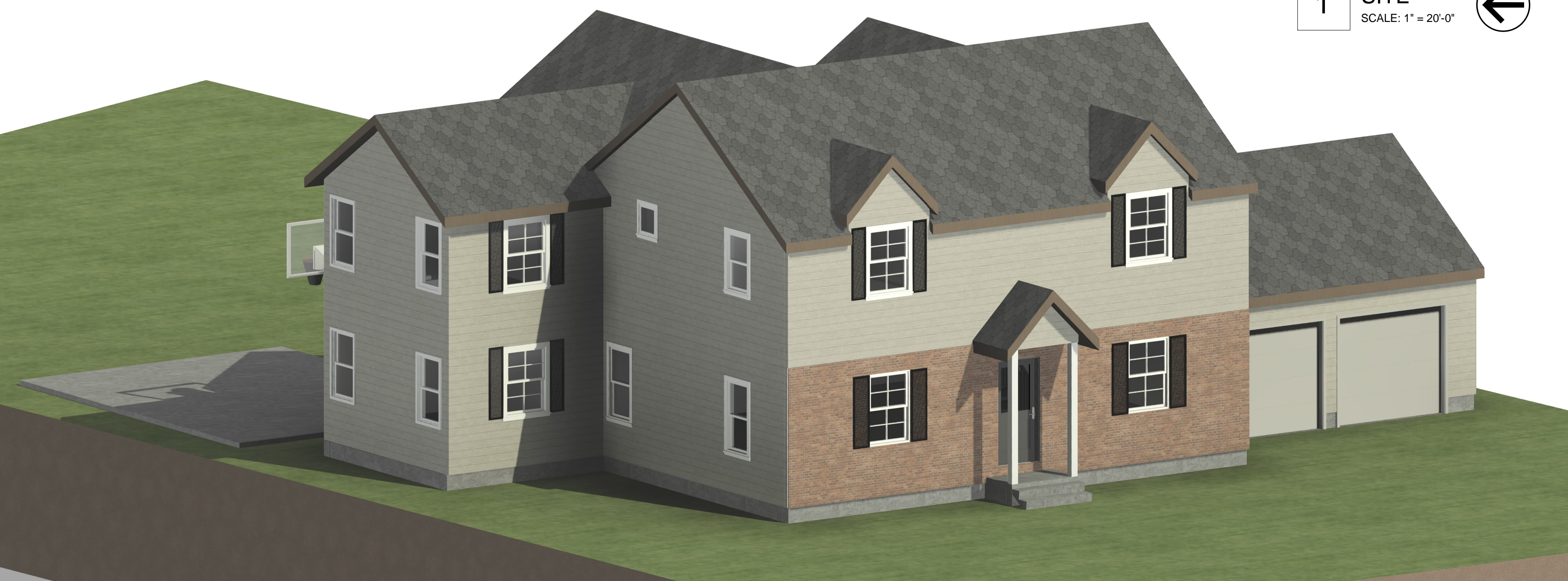
It is believed the spirit and intent of the code will still be followed as the 20% wide element was to ensure ample spacing between home and in particular new construction where the home might be large in scale to the lot. This minimal home addition still provides ample spacing with setback gap of 22.33' from the proposed addition to the neighboring dwelling. Granting the variance will not be opposed to the general spirit and intent of the zoning regulations.



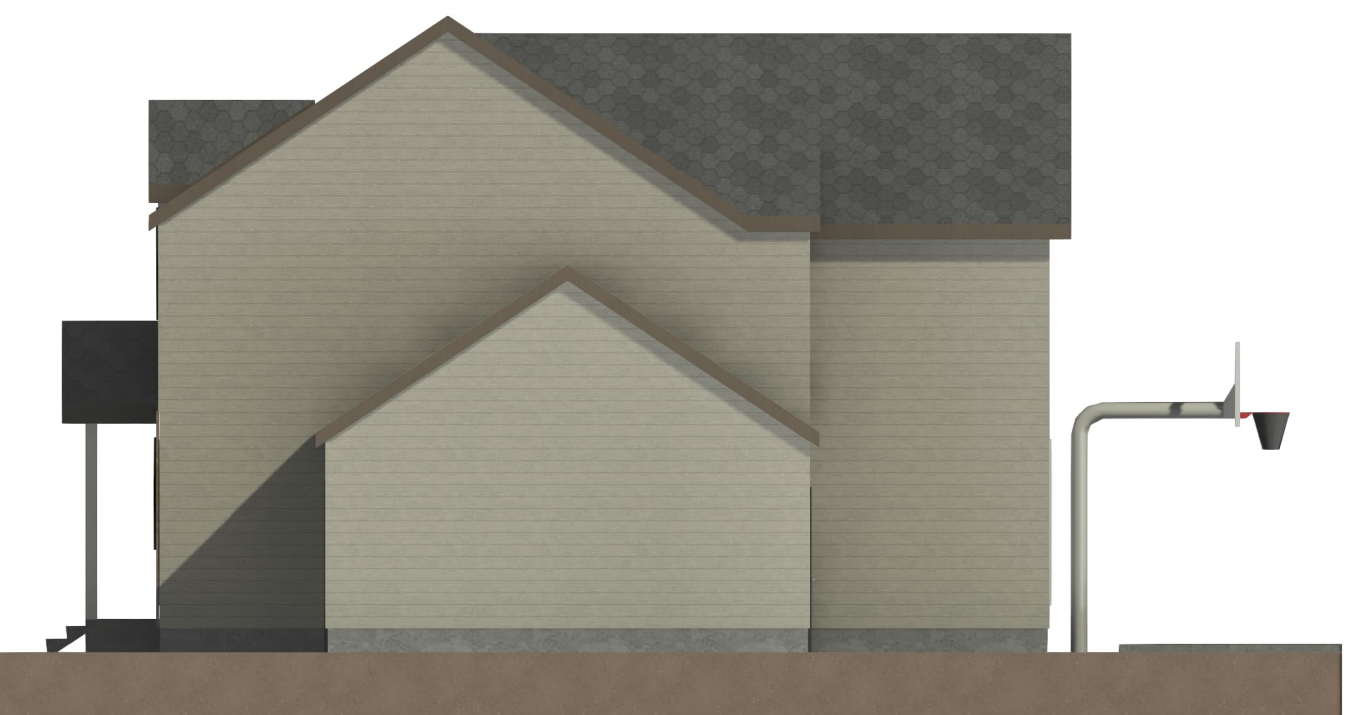
4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



5 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

Project Status: NOT FOR CONSTRUCTION



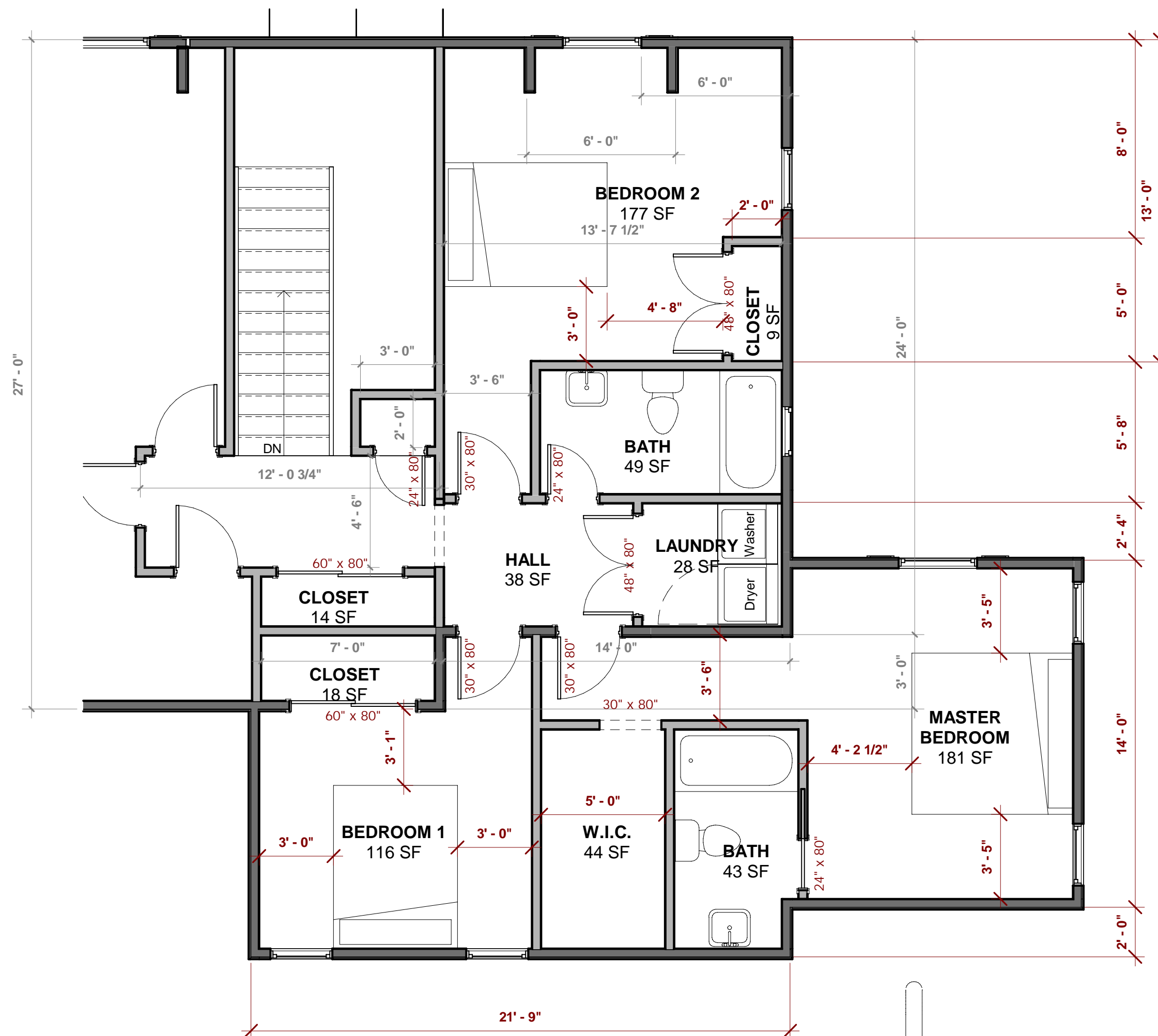
311 East 11th Avenue North
Kansas City, MO 64116
Phone: (816) 421-4232
Fax: (816) 421-1956
www.nortonschmidt.com
N&S JOB NUMBER: 2025-1975
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Designer: MLR
Checker: BSS

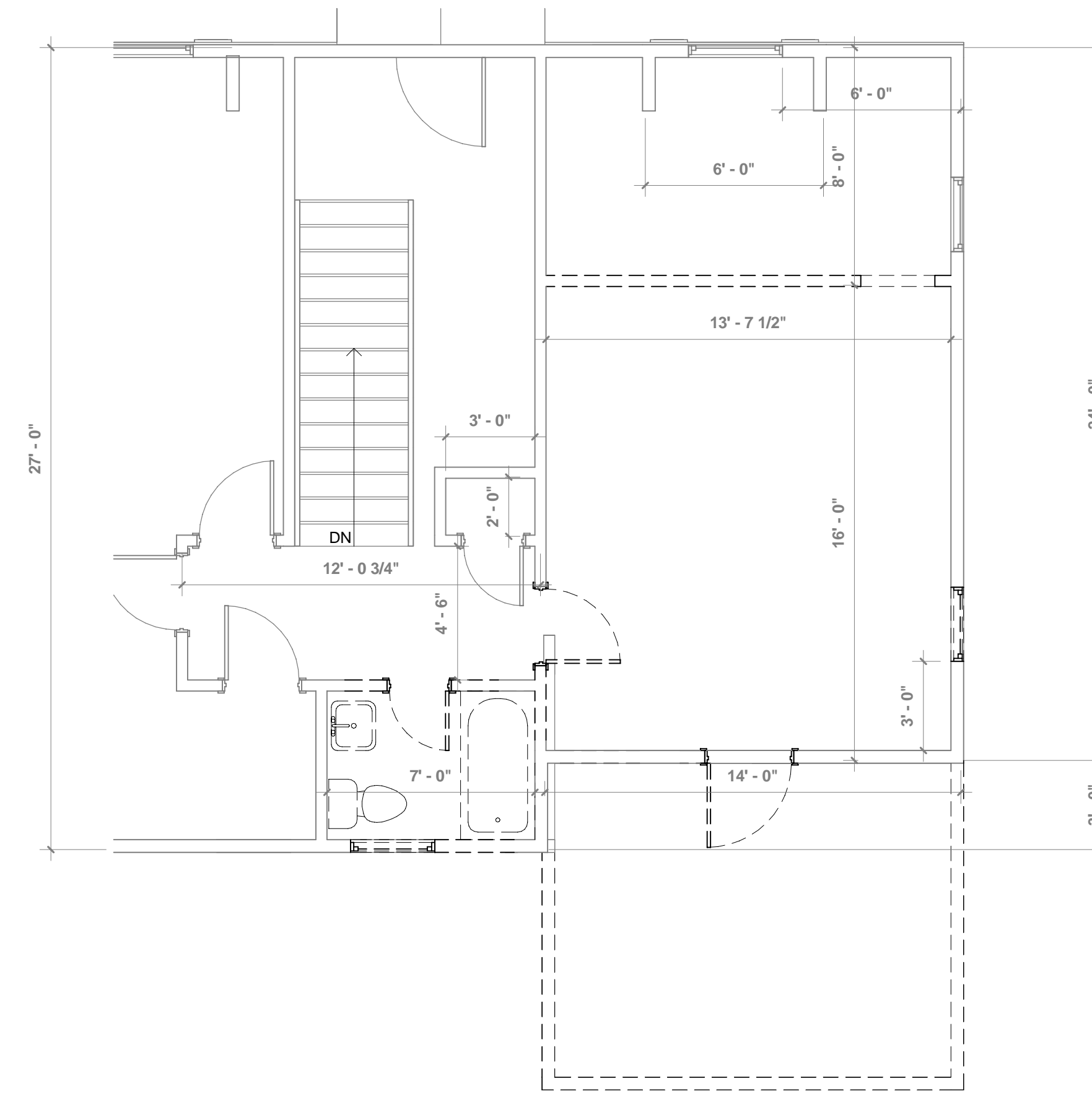
RESIDENTIAL ADDITION
7808 CAMBRIDGE STREET
PARAIRE VILLAGE, KANSAS 66208
WADE HOLTkamp

ISSUES & REVISIONS		
#	DATE	DESCRIPTION
	4/9/2026	PRELIMINARY

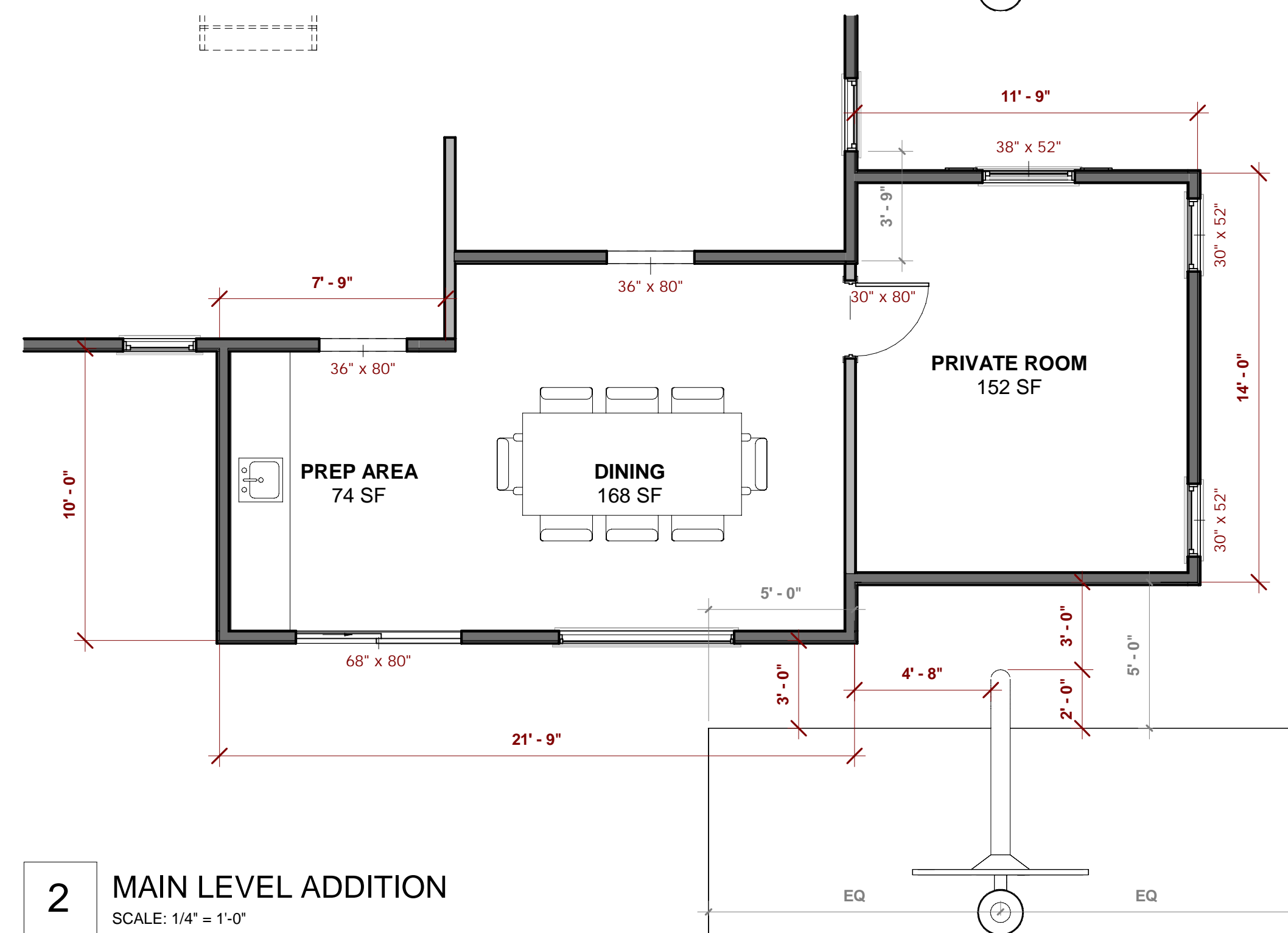
DB1
SITE + ELEVATIONS + 3D VIEWS



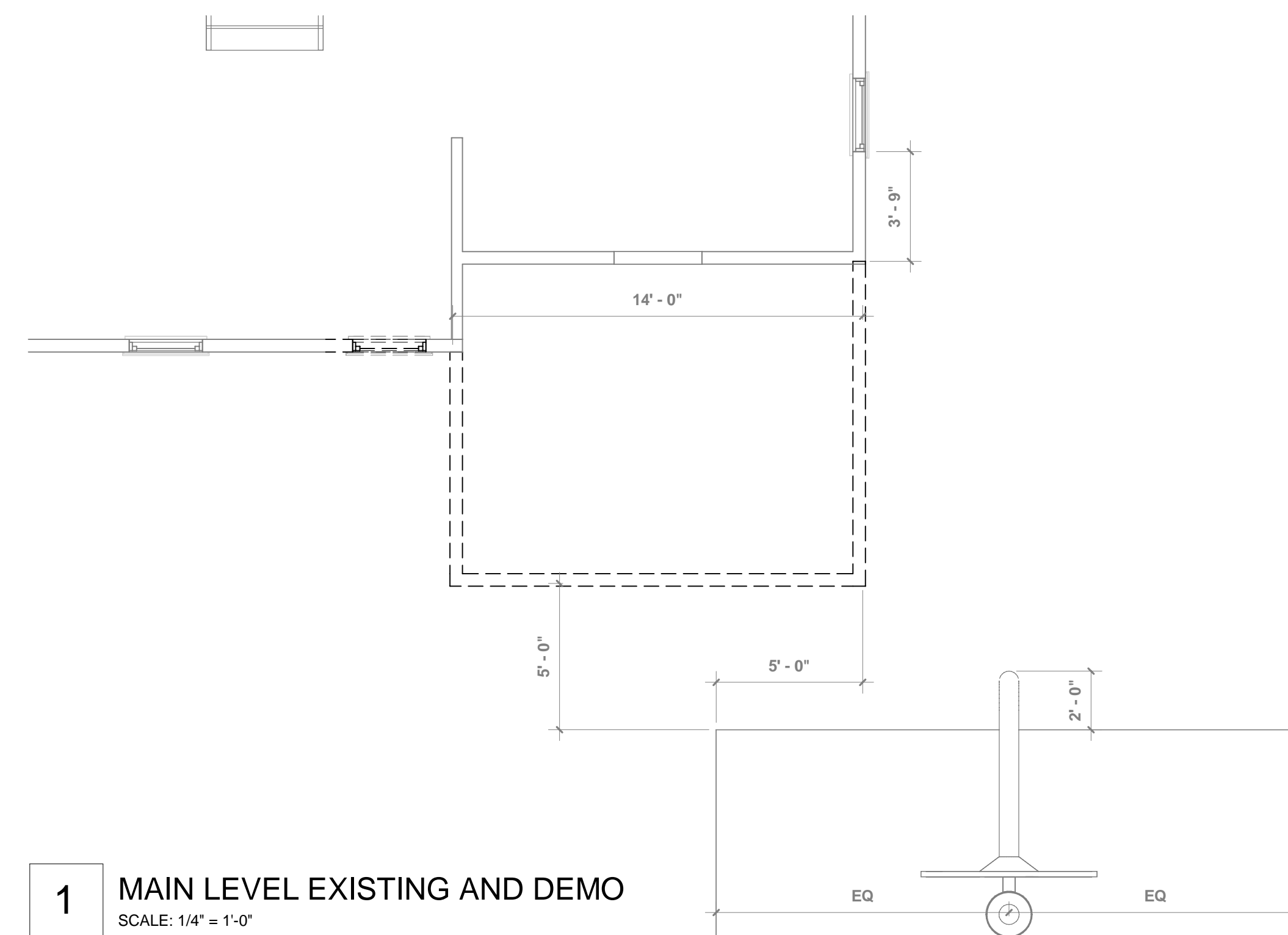
4 UPPER LEVEL ADDITION
SCALE: 1/4" = 1'-0"



3 UPPER LEVEL EXISTING AND DEMO
SCALE: 1/4" = 1'-0"



2 MAIN LEVEL ADDITION
SCALE: 1/4" = 1'-0"



1 MAIN LEVEL EXISTING AND DEMO
SCALE: 1/4" = 1'-0"

Project Status: NOT FOR CONSTRUCTION



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Designer: MLR
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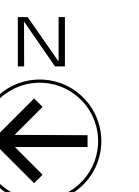
RESIDENTIAL ADDITION

7808 CAMBRIDGE STREET
PARAIRE VILLAGE, KANSAS 66208
WADE HOLTkamp

ISSUES & REVISIONS

#	DATE	DESCRIPTION
	4/9/2026	PRELIMINARY

DB2
FLOOR PLANS



DESCRIPTION

Lot 20, Block 12, CORRECTED PLAT OF MEADOW LAKE, a subdivision in the City of Prairie Village, Johnson County, Kansas.

**CERTIFICATE OF SURVEY
7808 CAMBRIDGE DRIVE**

LEGEND

- ⊙ EM = ELECTRIC METER
- = MONUMENT AS NOTED
- GM = GAS METER
- ⊕ LP = LIGHT POLE
- ⊞ = POWER POLE

AREA = 12,765 Sq. Ft or 0.293 Acres ±

GENERAL NOTES:

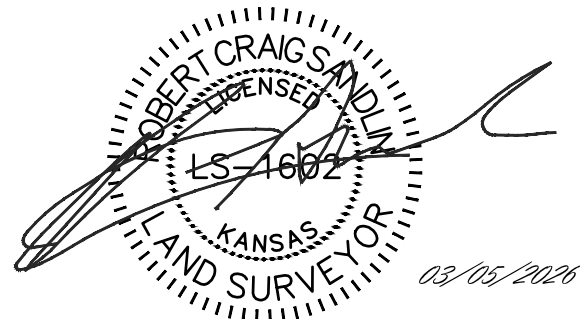
The bearings shown hereon are based on the State Plane Coordinate System, Kansas North Zone NAD 83

The subject property address is: 7808 Cambridge DR..

Existing home was located as part of this survey.

Easements shown hereon taken from the Final Plat of CORRECTED PLAT OF MEADOW LAKE.

I hereby certify that this survey was completed by me or under my direct supervision. Field work was completed on 2/25/2026.



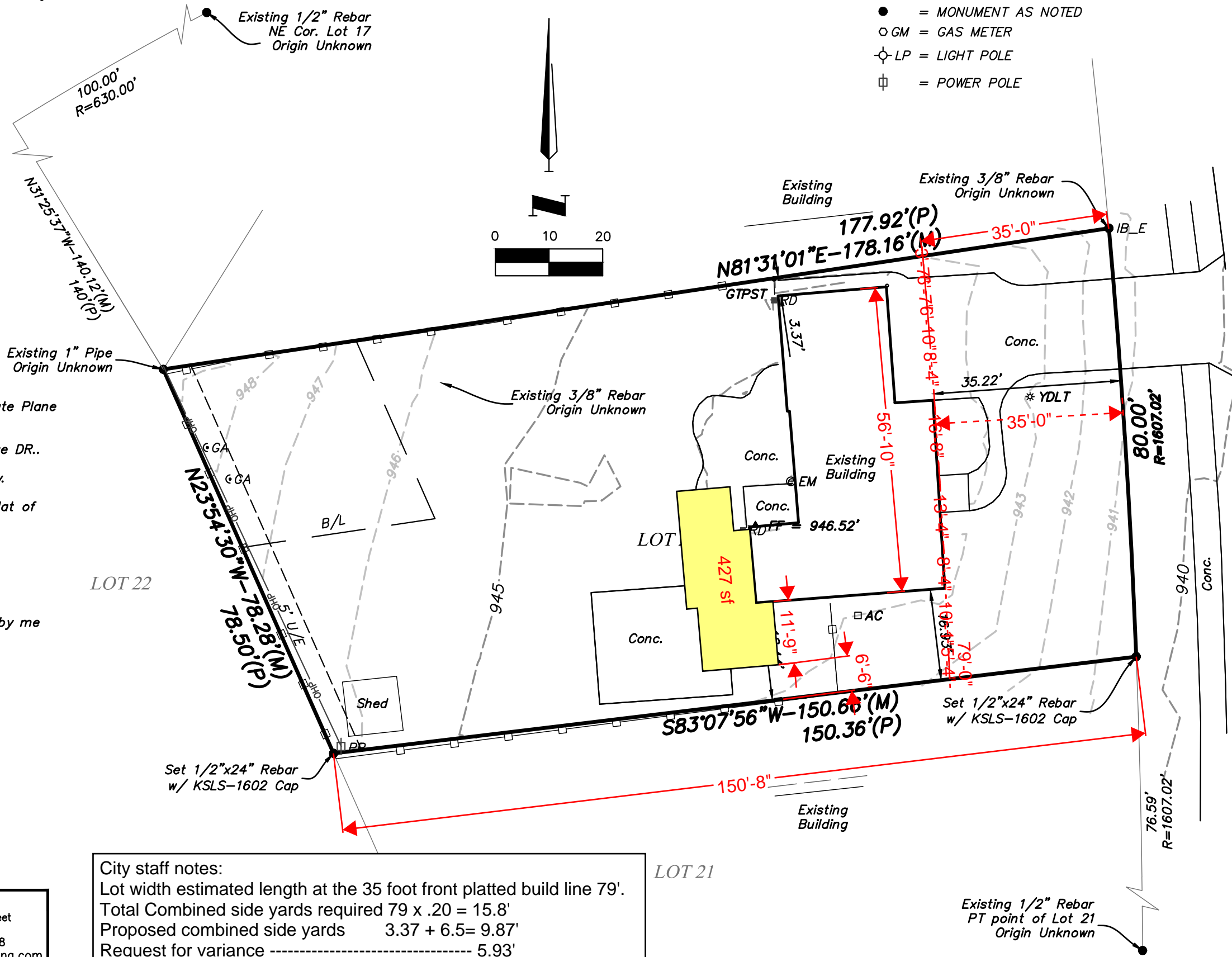
Robert C. Sandlin, KLS-1602

LOT 22

LOT 21

City staff notes:
 Lot width estimated length at the 35 foot front platted build line 79'.
 Total Combined side yards required 79 x .20 = 15.8'
 Proposed combined side yards 3.37 + 6.5 = 9.87'
 Request for variance ----- 5.93'

CAMBRIDGE DRIVE
Public Road - Asphalt Pavement



Beyond Surveying
 29390 W 119th Street
 Olathe, KS 66061
 Main: 913-717-8538
 www.beyondsurveying.com

PROJECT NO. 2026-0013 DATE 03/05/2026 BY RCS

NEIGHBOR MEETING, 4-21-26, 6:30 PM

Situs Address	Owner1	Owner2	Owner Address	City, State Zip
2114 W 79TH ST	KRAMER, CONNIE A.		2114 W 79TH ST	PRAIRIE VILLAGE, KS 66208
7805 CAMBRIDGE ST	LANG, JAMEELAH	BONES, WHITNEY	7805 CAMBRIDGE ST	PRAIRIE VILLAGE, KS 66208
2120 W 79TH ST	NOWZARI, KHALIGH S.	CHIDIAC, SOUAD S.	2120 W 79TH ST	PRAIRIE VILLAGE, KS 66208
2121 W 79TH ST	MILLS, STEPHEN M	MILLS, LUTITIA	29 E 53RD ST	KANSAS CITY, MO 64112
7807 CAMBRIDGE ST	GROEPPER, PATRICK D	GROEPPER, ASHLEY C	7807 CAMBRIDGE ST	PRAIRIE VILLAGE, KS 66208
7803 CAMBRIDGE ST	SCOTT C CAIN AND KENDRA L CAIN REVOCABLE LIVING TRUST		7803 CAMBRIDGE ST	PRAIRIE VILLAGE, KS 66208
7804 STATE LINE RD	BRAZIL, BRYAN		7804 STATE LINE RD	PRAIRIE VILLAGE, KS 66208
2015 W 79TH ST	K LIFE KANSAS CITY		2015 W 79TH	PRAIRIE VILLAGE, KS 66208
7808 STATE LINE RD	CAMPBELL, MATTHEW		7808 STATE LINE RD	PRAIRIE VILLAGE, KS 66208
2101 W 79TH TER	JACL LLC		PO BPX 7274	OVERLAND PARK, KS 66207
2108 W 79TH TER	SMITH, JOSEPH L	SMITH, ERIN M	2108 W 79TH TER	PRAIRIE VILLAGE, KS 66208
7821 CAMBRIDGE ST	SANDS, MICHAEL M	SANDS, SHEREL L	7821 CAMBRIDGE ST	PRAIRIE VILLAGE, KS 66208
2120 W 79TH TER	YOUSSEF, SAMIR	TADROUS, KAMEL	8612 FORGE GATE LN	CHESTERFIELD, VA 23832
7806 STATE LINE RD	HEIGELE, SCOTT ALAN	HEIGELE, NANCI GARCIA	7806 STATE LINE RD	PRAIRIE VILLAGE, KS 66208
2127 W 79TH ST	TROGSTAD, BETHANY J.		2127 W 79TH ST	PRAIRIE VILLAGE, KS 66208
2114 W 79TH TER	BARRON, RONALDO L	BARRON, ELIZABETH	2114 W 79TH TER	PRAIRIE VILLAGE, KS 66208
7804 CAMBRIDGE ST	TIEDT, PAUL D.	TIEDT, SARAH M.	7804 CAMBRIDGE ST	PRAIRIE VILLAGE, KS 66208
2100 W 79TH TER	FELTON, JOEY L	FELTON, ASHLEY E	2100 W 79TH TER	PRAIRIE VILLAGE, KS 66208
2117 W 79TH TER	HANSON, ANNE B		2117 W 79TH TER	PRAIRIE VILLAGE, KS 66208
2205 W 79TH ST	GUDERLEY, STEVEN		2205 W 79TH ST	PRAIRIE VILLAGE, KS 66208
2101 W 79TH ST	DRESSMAN, MARTIN J.	DRESSMAN, LAURIE A.	2101 W 79TH ST	PRAIRIE VILLAGE, KS 66208
7809 CAMBRIDGE ST	VELAZQUEZ-ALANIS, ALDO R	VELAZQUEZ-BARRERA, CHRISTINE M	7809 CAMBRIDGE ST	PRAIRIE VILLAGE, KS 66208
7815 CAMBRIDGE ST	DICARLO, MAXWELL V		7815 CAMBRIDGE DR	PRAIRIE VILLAGE, KS 66208
2115 W 79TH ST	EDWARDS TRUST		512 FIFTH ST	TRAVERSE CITY, MI 49684

MEETING SUMMARY

TABLE SET UP READY AT 6:30 PM IN DRIVEWAY.

WAITED TILL 7:00 PM, NO ONE ATTENDED MEETING.
 SEVERAL NEIGHBORS WISHED US LUCK PRIOR TO MEETING, THEY HAD NO CONCERNS.

7805 CAMBRIDGE ST.
 7807 CAMBRIDGE
 2108 W. 79TH TER

LANG
 GROEPPER
 SMITH

7809 CAMBRIDGE ST. VELAZQUEZ-ALANIS
 7804 CAMBRIDGE ST. TIEDT

4/15/2026

Wade and Kari Holtkamp
7808 Cambridge Dr
Prairie Village, KS 66208

Dear Neighbors,

We hope this message finds you well. We have lived at 7808 Cambridge St for over 16 years and are raising two girls, 8 and 10. Our home is a 1949 two story 3-bedroom colonial style home with an attached garage and unfinished basement. Our family has made many neighborhood friends and developed a deep love of Prairie Village's unique charm with its historic homes and mature trees.

We are seeking a variance from the City of Prairie Village Board of Zoning Appeals to build on to the home to the rear and the south side yard. Our expansion is limited to the rear backyard blocked by a concrete baseball court and a fully mature Ash tree/roots. We plan to keep the home's historic elements from the front with minimal expansion to make it our forever home by creating a bit more space to raise our family, making the floor plan more accessible as we age, and creating more functional space.

Code requires 20% of property width (80 feet) of both side yard setbacks (16 feet) and at least a 6-foot setback for one of the sides. The north side yard setback is (3.37') to a legal non-standard to a garage which is presumed to have been built several decades ago. The south side yard setback is currently (18.44') to the house. The application is requesting a variance to have a 6-foot setback in the south yard for the addition. The neighboring property home to the south yard is 15.95' from property line and 22.33' from proposed addition keeping an ample amount of space.

Per city regulations, we are notifying all property owners within 200 feet of our home project and inviting you to a meeting to discuss this variance request. This is an opportunity to learn more, ask questions, or share any feedback.

Meeting Details:

Date: Tuesday, April 21st, 2026

Time: 6:30 PM

Location: Home Construction Project, 7808 Cambridge Drive

Attendance is voluntary, and the meeting will include a brief overview of the project and a chance to address any questions. If you cannot attend but wish to discuss the variance, please contact us at 913-907-4103 or wadeholtkamp@gmail.com.

Thank you. We value our neighborhood.

Best regards,

Wade and Kari Holtkamp