

The public may attend the meeting in person or view it online at
<http://pvkansas.com/livestreaming>.

**BOARD OF ZONING APPEALS
CITY OF PRAIRIE VILLAGE
TUESDAY, OCTOBER 7, 2025
7700 MISSION ROAD
COUNCIL CHAMBERS
6:00 P.M.**

I. ROLL CALL

II. APPROVAL OF BZA MINUTES - January 7, 2025

III. PUBLIC HEARINGS

BZA2025-02 Variance to the cumulative side setback to allow an attached outbuilding to be located 10' from side, resulting in 19.7' cumulative side setback rather than the required 24'
6528 Granada Drive
Zoning: R-1A
Applicant: Sarah Clutter

BZA2025-03 Variance increase to the permitted building coverage from 30% to 32.19%
6748 Fontana Street
Zoning: R-1B
Applicant: Doug LeVota

IV. OTHER BUSINESS

V. ADJOURNMENT

Plans available at City Hall if applicable
If you cannot be present, comments can be made by e-mail to
cityclerk@pvkansas.com

***Any Commission members having a conflict of interest, shall acknowledge that conflict prior to the hearing of an application, shall not participate in the hearing or discussion, shall not vote on the issue and shall vacate their position at the table until the conclusion of the hearing.**

**BOARD OF ZONING APPEALS
CITY OF PRAIRIE VILLAGE, KANSAS
MINUTES
TUESDAY, JANUARY 7, 2025**

ROLL CALL

The meeting of the Board of Zoning Appeals of the City of Prairie Village, Kansas was held on Tuesday, January 7, 2025, at 6:30 p.m. in the Council Chambers of the Municipal Building at 7700 Mission Road. Vice-Chair Melissa Brown called the meeting to order at 6:30 p.m. with the following members present: James Kersten, Melissa Temple, and Jeffrey Valentino.

The following individuals were present in their advisory capacity to the Board of Zoning Appeals: Chris Brewster, Multistudio; Nickie Lee, Deputy City Administrator; Mitch Dringman, Building Official; Terry O'Toole, Council Liaison; Adam Geffert, City Clerk/Board Secretary.

APPROVAL OF MINUTES

Ms. Temple moved for the approval of the minutes of the December 3, 2024, Board of Zoning Appeals meeting as presented. Mr. Kersten seconded the motion, which passed 4-0.

PUBLIC HEARINGS

BZA2024-09 Side setback variance
 7714 Mohawk Drive
 Zoning: R-1A
 Applicant: Devon Coffey

Mr. Brewster stated that the applicant was requesting a variance for a side setback from 7' to 4' - 2" resulting in a variance of 2' - 10", along with a related request for a building separation of approximately 12' - 3" rather than the required 14'. The application is for the replacement of an existing carport and enclosed storage area with a two-car garage with storage located at the rear of the garage.

The property is zoned R-1A and is located mid-block on Mohawk Drive between 79th Street on the south and 77th Street on the north. The lot is 70' wide; most lots on the block are also 70' wide, with a few approaching 75'. Mr. Brewster noted that R-1A districts required 80' wide lots; however, these lots are in an area with many legal nonconforming lots based on lot widths. Additionally, the grade of the block results in some houses stepping down to the next house with the grade falling to the south. In this case, the grade of the house immediately to the north is above the elevation of the subject house and

separated by a retaining wall. All property in the vicinity is zoned R-1A and used for residential uses.

Mr. Brewster said that R-1A districts require the following side setbacks:

- 7' minimum each side
- 20% of the lot width minimum between both sides
- At least 14' between adjacent buildings

The proposed addition would be approximately 32' in length, and replace an existing one-car carport and enclosed storage area on the north side with a two-car garage with storage at the rear of the garage. The garage would be 22' wide from the exterior wall of the garage to the exterior wall of the existing house. This area of the lot abuts the side yard of the house to the north; with the variance, the building would be approximately 12' - 3" from the adjacent building rather than the required 14'. The existing setback on the south side is just over 13', so the lot would maintain the required 20% cumulative side setback (a 70' wide lot requires at least 14' cumulative side setback).

Mr. Brewster said that Section 19.54.030 of the zoning regulations required the board to find that all five of the following conditions are met in order to grant a variance. If the board finds that any one of these conditions is not met, a variance should not be granted:

A. Uniqueness

That the variance requested arises from such condition which is unique to the property in question, and which is not ordinarily found in the same zone or district; and is not created by an action or actions of the property owner or the applicant.

In order for the property to meet the condition of uniqueness, it must have some peculiar physical surroundings, shape, or topographical condition that would result in a practical difficulty as distinguished from a mere inconvenience to utilize the property without granting the variance.

The lot is similar to many other lots in the area. However, it is a legal nonconforming lot due to the width of 70' though an 80' width is required in R-1A districts. Despite this, the proposal would still meet the required cumulative side setbacks for an 80' wide lot (13.5' on the south and 4.16' on the north is greater than 20% of 80') and easily meets it for a 70' wide lot (minimum 14' cumulative between both sides required). Additionally, the lot is at a lower grade than the immediate adjacent house to the north and is separated by a low retaining wall, resulting in a lower scale profile immediately adjacent to the house. This existing situation is also causing some drainage issues with the current car port and driveway, which will be corrected with the proposed plan.

B. Adjacent Property

That the granting of the permit for the variance would not adversely affect the rights of adjacent property owners or residents.

Although the proposed addition will be closer to the house to the north, there is a lesser impact on this house than what could otherwise be built within the setbacks due to (1) the grade of the subject house being approximately 3' lower; and (2) the proposed addition retaining the one-story profile and low-pitched roof, resulting in a very small overall elevation within the side setback.

C. Hardship

That the strict application of the provisions of these regulations from which a variance is requested will constitute an unnecessary hardship upon the property owner represented in the application.

The project is a rehabilitation of an existing home, retaining the majority of the current footprint, including the placement and elevation of the existing carport (replaced with enclosed garage). Under this plan, the only way to expand a one-car garage to a two-car garage is to the north as proposed. The plan results in a garage width of just under 22' wide (exterior to exterior), which is sufficient and typical of a smaller two-car garage. The project also retains the one-story and low roof pitch of the existing home on all elevations. The grading of the block and lot also causes some drainage issues with the current car port and driveway, which will be corrected with this proposed plan.

D. Public Interest

That the variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare.

The proposed addition retains many of the design and scale elements of the existing house, and presents greater utility of a two-car garage within the scale and character of the surrounding neighborhood, and will address an existing drainage issue on the subject lot.

E. Spirit and Intent of the Regulation

That the granting of the variance desired would not be opposed to the general spirit and intent of these regulations.

The side setback standards are intended to manage relationships to adjacent lots and buildings. In this case the relationship to the adjacent building is limited due to the drop in grade, the proposal of a one-story elevation, and the matching of the low pitch roof profile. Additionally, the requested variance is minimal considering the nature of the project and permits a sufficient two-car garage. The application will meet all applicable lot development and neighborhood design standards, particularly the standards intended to limit the scale and visibility of garages and driveways along lot frontages.

Mr. Brewster said that if the board did approve the variance, it should be subject to the following conditions:

1. That the variance be granted only to the extent shown with the submitted application and based on submitted plans.
2. The variance, if approved, shall be recorded with the County Register of Deeds within one year of approval.

Property owner Devon Coffey was present to discuss the application. She stated that she agreed with the proposed conditions.

Mr. Kersten asked whether Ms. Coffey had spoken to any of her neighbors about the proposal. She said that she had submitted multiple letters of support from neighbors with her application, including the property owner to the north.

Ms. Brown opened the public hearing at 6:44 p.m. With no one present to speak, Ms. Brown closed the public hearing at 6:45 p.m.

Ms. Temple made a motion to approve the variance with the conditions recommended by staff. Mr. Kersten seconded the motion, which passed 4-0.

OTHER BUSINESS

Election of Chair, Vice-Chair and Secretary

Mr. Valentino made a motion to elect the following slate of officers:

- **Mr. Birkel, Chair**
- **Ms. Brown, Vice-Chair**
- **Mr. Geffert, Secretary**

Ms. Temple seconded the motion, which passed 4-0.

ADJOURNMENT

Vice-Chair Melissa Brown adjourned the meeting of the Board of Zoning Appeals at 6:48 p.m.

Adam Geffert
City Clerk/Board Secretary

STAFF REPORT

TO: Prairie Village Board of Zoning Appeals
FROM: Chris Brewster, Multistudio, Planning Consultant
DATE: October 7, 2025 Board of Zoning Appeals Meeting

Application: BZA 2025-02

Request: Variance to the cumulative side setback to allow an attached outbuilding to be located 10' from side, resulting in 19.7' cumulative side setback rather than the required 24'.

Action: *A variance request requires the Board of Zoning Appeals to evaluate facts and weigh evidence, and a majority of the Board must find that all 5 criteria for a variance have been met in order to approve the request.*

Property Address: 6528 Granada Drive

Applicant: Clutter Living Trust, Owner

Current Zoning & Use: R1-A Single-Family Residential – Single-family house

Surrounding Zoning & Use: **North:** R-1A Single-Family Residential – Single-family house
East: R-1A Single-Family Residential –Single-family house)
South:R-1A Single-Family Residential – Single-family house
West: R-1A Single-Family Residential – Single-family house

Legal Description: INDIAN FIELDS LOT 29 BLK 5

Property Area: 0.4 acres (17,380 s.f.)

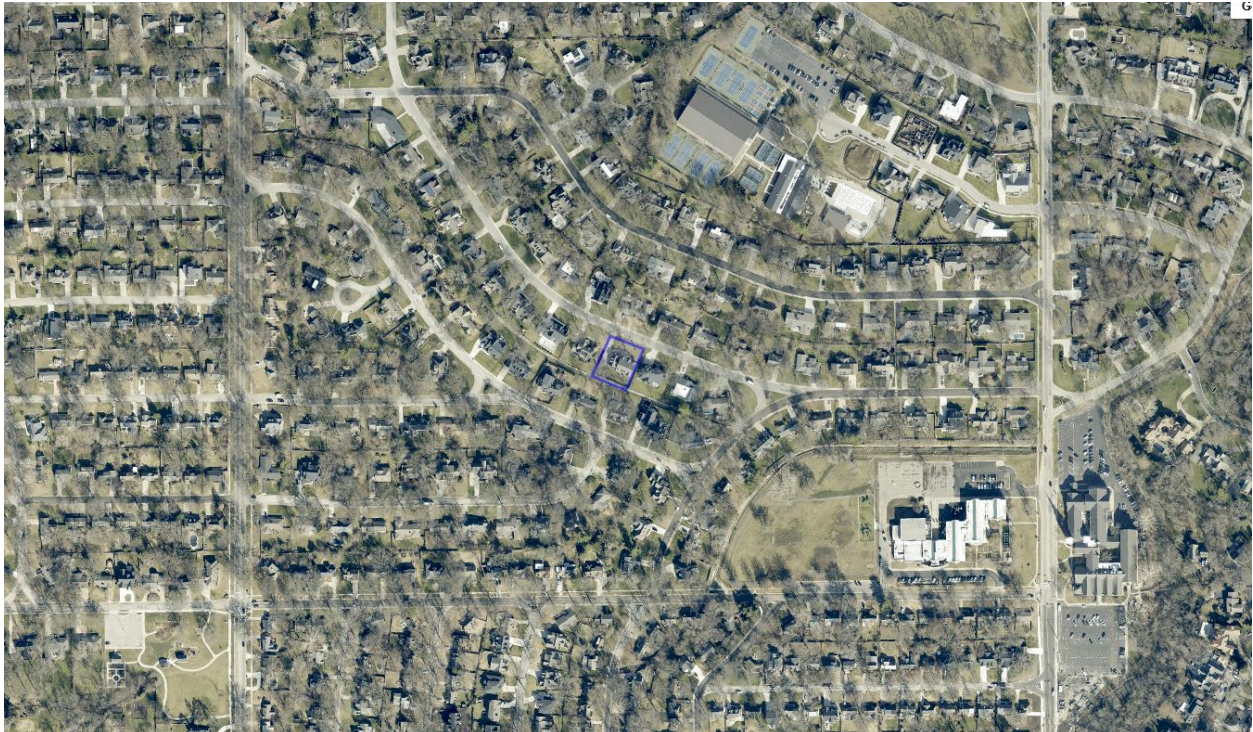
Related Case Files: PC 25-05 Site Plan, Lot Coverage Exception
PC 25-15 Site Plan, Exception Neighborhood Design / Windows

Attachments: Application, variance request form, site & building plans

General Location – Map



Aerial Map



Aerial Site



Birdseye View



Street View



Looking south from Granada Drive – proposed attached outbuilding to be located in background at end of driveway.

SUMMARY:

This application requests a variance from the cumulative side setback requirement for 20% of the total lot frontage between both sides. The requested variance is to allow an attached outbuilding to be located 10 feet from the side lot line; the principal structure has a setback of 9.7 feet on the opposite side, resulting in a 19.7 cumulative side setback. The lot is 120 feet wide, so the required cumulative side setback is 24 feet.

The applicant had a neighborhood meeting on August 26, 2025, as required by the Prairie Village Resident Participation Policy and has supplemented the application with background on that meeting.

DETAILS:

This application is related to PC 25-05, an exception for lot impervious coverage approved by the Planning Commission in April 2025. That proposal involved a detached garage on the southwest portion of the lot, approximately 16 feet by 24 feet, and located 5 feet from the west property line. The size of the structure and the setback complied with the zoning ordinance applicable to accessory structures. The plan exceeded impervious coverage limits, requiring the Planning Commission exception.

Since this time the applicant has changed plans due to homeowners' association input. The new proposal is to reduce the garage to 14 feet by 24 feet, locate it 10 feet from the west property line, and attach it to the principal structure by a covered breezeway. Because the structure is now attached, it must meet the principal building side setback rather than the accessory structure side setback (7 feet, rather than 3 feet). Although the placement of the garage meets the general side setback for principal buildings, the principal building is also subject to a cumulative side setback of 20% of the lot width. This lot is 120 feet wide; therefore, while either side may have a principal building placed as close to 7 feet from the lot line, the other side would be required to have a corresponding setback of 17 feet to achieve the cumulative 20%, or 24 feet. The east side of the principal building is 9.7 feet from the east lot line. To meet the ordinance the attached outbuilding would need to be located 14.3 feet from the west property line, rather than the proposed 10 feet.

The property is mid-block on the south side of Granada between Mission Road and Roe Avenue and is zoned R-1A. The block features larger R-1A lots – 110-feet to 130-feet wide and approximately 16,000 to 20,000 square feet. This lot is 17,380 square feet. The lots on the block have principal buildings similarly situated to this lot and all have a 40-foot platted front building line and shallower rear yards. This building is situated further to the east on the lot resulting in a wider gap between the home to the west where the attached outbuilding is proposed.

All property in the vicinity is zoned for R-1A and used for residential uses.

R-1A which requires the following side setbacks:

- 7 feet minimum each side
- 20% of the lot width minimum between both sides; and
- At least 14' between adjacent buildings

[\[19.06.015 / Table 19.06.A\]](#)

The applicant is requesting a variance from the cumulative side setback to allow the construction of an attached out building 10 feet from the side setback rather than the required 14.3 feet.

VARIANCE ANALYSIS (BOARD OF ZONING APPEALS):

[Section 19.54.030](#) of the Zoning Ordinance requires the Board to find that **all five** of the following conditions are met in order to grant a variance. If the Board finds that any one of these conditions is not met, a variance should not be granted:

A. Uniqueness

That the variance requested arises from such condition which is unique to the property in question and which is not ordinarily found in the same zone or district; and is not created by an action or actions of the property owner or the applicant.

In order for the property to meet the condition of uniqueness, it must have some peculiar physical surroundings, shape, or topographical condition that would result in a practical difficulty as distinguished from a mere inconvenience to utilize the property without granting the variance.

The lot is similar to many other lots in the area. However, the existing side setback on the west portion of the lot is much larger than the others (29.2 feet). A detached accessory structure can be placed in this larger side setback and meet the ordinance (as was originally proposed). Due to this revised application, the proposal to attach the outbuilding by a covered walkway subjects the building to the principal building setback, and the cumulative setback requirement.

B. Adjacent Property

That the granting of the permit for the variance would not adversely affect the rights of adjacent property owners or residents.

The proposed attached outbuilding is further from the side lot line than would be permitted if the building were detached. A detached accessory structure may be placed as close as 3 feet from the side lot line because these buildings are smaller, lower-profile, and are typically on more remote portions of the lot. A prior approved plan had a detached building in a similar location and 5 feet from the property line. This proposal is for a similar scaled building, but 10 feet from the side lot line. The extent of this 10 feet side setback is for the 24 linear feet of the detached outbuilding, and is located towards the rear of the lot and not immediately adjacent to the principal building on the west. The remainder of the lot / principal building (closer to the adjacent building and front of the lot) remains 29.2 feet from the side lot line.

C. Hardship

That the strict application of the provisions of these regulations from which a variance is requested will constitute an unnecessary hardship upon the property owner represented in the application.

The applicant is reducing the size of the proposed outbuilding and moving it further from the side lot line, but attaching it in response to homeowners' association input. Although this is a similar or possibly less impacting plan than originally approved, the fact that the building is attached subjects it to the more strict setback standards of the principal building. Further, although it meets the basic side setback for the principal building, it is also subject to a large cumulative side setback due to the relatively large width of the lot.

D. Public Interest

That the variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare.

The proposed addition retains many of the design and scale elements of the existing house, provides varied massing elements and reduces the scale of the overall building plan, and is located on a remote portion of the lot, and with little impact on the character of the neighborhood. The application meets all other development and neighborhood design standards (other than a prior exception to the impervious cover - PC 25-05 and an associated proposal for a rear elevation design exception - PC 25-15).

E. Spirit and Intent of the Regulation

That the granting of the variance desired would not be opposed to the general spirit and intent of these regulations.

The side setback standards are intended to manage relationships to adjacent lots and buildings. The cumulative side setback manages this in scale with the lot size and also presents a consistent and proportional front facade along the streetscape. In this case the relationship to the adjacent building is limited due the limited extent of the variance (only 24 feet of the outbuilding, while the bulk of the principal building is 29.2 feet from the side lot line). The proposed 10 feet setback is also further away from adjacent property than is permitted if the outbuilding were detached, and where a principal building could be placed absent the cumulative setback. Additionally, the primary mass of the principal building most visible to the street meets the cumulative side setback as it is 29.2 feet from the west line (impacted side of this variance) and 9.7 feet from the east lot line - or a cumulative side setback of 38.9 feet where 24 is required.

EFFECT OF DECISION:

After reviewing the information submitted and considering the testimony during the public hearing, if the Board finds that **all five conditions** are met as required by state statutes and [Section 19.54.030](#) of the Prairie Village Zoning Ordinance, then it may grant the variance. If the Board does approve the variance, it should be subject to the following conditions:

1. That the variance be granted only to the extent shown with the submitted application and based on submitted plans.
2. The variance, if approved, shall be recorded with the County Register of Deeds within 1 year of approval.

Project Description

Requested Action*

Residential Building Line Modification/Elevation Change

Legal Description*

Indian fields lot 29 block 5 pvc-0407A0030

Applicant Information

What are you applying for?

BZA

Applicant Name*

Dwayne Hodges

Address*

10327 High Dr Leawood, Ks 66206

Phone Number*

9133859945

E-Mail*

info@hodgesgarages.com

Owner Name*

Sara Clutter

Location of Property*

6528 Granada Dr Prairie Village Kansas

Owner Phone Number*

9139093116

Owner E-Mail*

sclutter27@gmail.com

Applicant requests consideration of the following: (Describe proposal/request in detail)*

Build attached garage to comply with HOA requirement. Closer to side yard setback and over 40% lot coverage.

Acknowledgement

Applicant intends to file an application with the Prairie Village Planning Commission or the Prairie Village Board of Zoning Appeals of the City of Prairie Village, Kansas (City). As a result of the filing of said application, the City may incur certain expenses, such as publication costs, consulting fees, attorney fees and court reporter fees. Applicant hereby agrees to be responsible for and to the City for all costs incurred by the City as a result of said application. Said costs shall be paid within ten (10) days of receipt of any bill submitted by CITY to Applicant It is understood that no requests granted by City or any of its commissions will be effective until all costs have been paid. Costs will be owed whether or not Applicant obtains the relief requested in the application.

Applicant Signature*

Dwayne C. Hodges

Aug 5, 2025

Date*

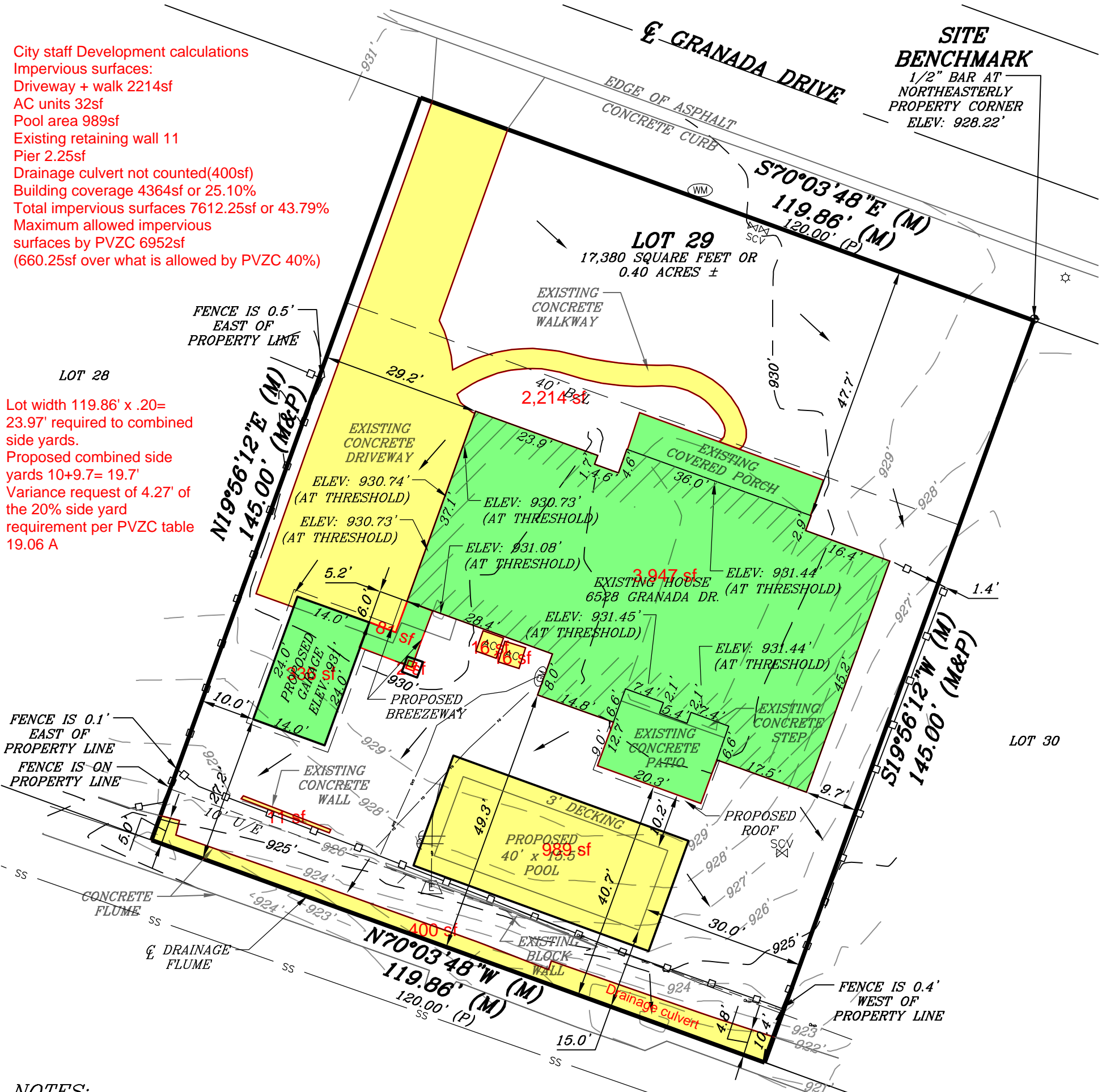
08/05/2025

PROPERTY DESCRIPTION
CONTAINING 17,380 SQUARE FEET OR 0.40 ACRES

LOT 29, BLOCK 5, INDIAN FIELDS, A SUBDIVISION IN THE CITY OF PRAIRIE VILLAGE, JOHNSON COUNTY, KANSAS, ACCORDING TO THE RECORDED PLAT THEREOF.

City staff Development calculations
Impervious surfaces:
Driveway + walk 2214sf
AC units 32sf
Pool area 989sf
Existing retaining wall 11
Pier 2.25sf
Drainage culvert not counted(400sf)
Building coverage 4364sf or 25.10%
Total impervious surfaces 7612.25sf or 43.79%
Maximum allowed impervious surfaces by PVZC 6952sf
(660.25sf over what is allowed by PVZC 40%)

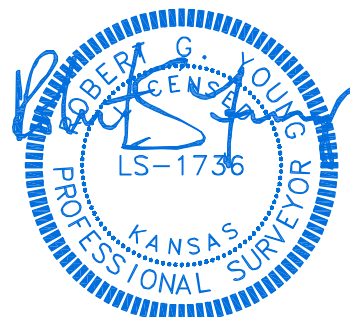
SITE BENCHMARK
1/2" BAR AT NORTHEASTERLY PROPERTY CORNER
ELEV: 928.22'



LOT 28
Lot width 119.86' x .20= 23.97' required to combined side yards.
Proposed combined side yards 10+9.7= 19.7'
Variance request of 4.27' of the 20% side yard requirement per PVZC table 19.06 A

NOTES:
SITE PLAN INCLUDES ALL BUILDING PROJECTIONS BEYOND THE FOUNDATION WALLS.

SURVEYORS DECLARATION:
I HEREBY DECLARE THAT THIS DRAWING WAS PREPARED UNDER MY SUPERVISION FOR BUILDING PERMIT APPLICATION AND CONSTRUCTION PURPOSES ONLY; THAT THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY AND THE PROPERTY LINES SHOWN HEREON HAVE NOT BEEN VERIFIED; THAT THE SEWER DEPTH OR FLOWLINE ELEVATIONS (IF SHOWN) ARE FROM THE BEST INFORMATION AVAILABLE WHICH SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO EXCAVATION.



REV. 8/8/2025

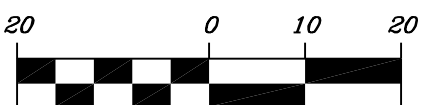
LEGEND:

- AC AIR CONDITIONER
- GUY WIRE
- LIGHT POLE
- GM GAS METER
- SCV IRRIGATION CONTROL VALVE
- WM WATER METER
- FENCELINE

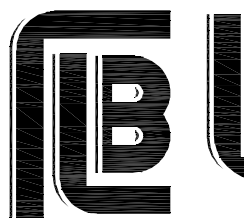
© COPYRIGHT 2025 R.L. BUFORD & ASSOCIATES, LLC



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



R.L. Buford & Associates, LLC

LAND SURVEYING - DEVELOPMENT CONSULTANTS
R.L. BUFORD & ASSOCIATES, LLC
MO CERT. OF AUTHORITY LICENSE NO. LS-2010031977

P.O. BOX 14069, PARKVILLE, MO. 64152 (816) 741-6152

FOR **HODGES GARAGES**
6528 GRANADA DRIVE
PRAIRIE VILLAGE, KS. 66208

SEC.-TWP.-RGE. 16-12-25	COUNTY JOHNSON	JOB NO. JO-24182
DATE 7-19-2024	FIELD BOOK & PAGE LOOSE LEAF	

SITE PLAN-INDIAN FIELDS, BLOCK 5, LOT 29

DRAWN BY
JDC

2018 INTERNATIONAL RESIDENCE CODE (IRC)

14 Wide x 24' Depth 336 sq.ft. GARAGE ADDITION

DEFERRED PRE-FABRICATED TRUSS DRAWING PACKAGE

Parcel # OP13000005 0029

Owner: Sarah Clutter

6528 Granada Dr

Prairie Village, MO 66208

Address: 6528 Granada Dr, MO 66208

Square Feet: 17,399.29

Acres: 0.40

Existing House 3,377 sq.ft. Footprint

NEW DETACHED GARAGE 336 st.ft.

Legal Description: INDIAN FIELDS LOT 29 BLK 5 PVC-0407A0030

ZONING: R-1A

OCCUPANCY CLASSIFICATION- U PRIVATE RESIDENTIAL GARAGE

DRAWING INDEX

SHEET #	DESCRIPTION
G1	CODE NOTES
A101	GARAGE PLAN
A201	ELEVATION- FRONT & BACK
A202	SIDE ELEVATION
A203	SIDE ELEVATION, FOOTING DETAIL, SOFFIT DETAIL
A301	GARAGE SECTION
STRUCTURAL-	SPECIFICATIONS

CONSTRUCTION FENCE-

PROVIDE A CONSTRUCTION FENCE W/ 2' x 3' PROJECT SIGN AS LOCATED ON SITE PLAN

CONSTRUCTION FENCE SHALL BE MIN 72" MAX 84" HIGH

CHAIN LINK FENCING OVERLAID ON THE THE EXTERIOR W/ OPAQUE VINYL SCREEN

W/ 2'x3' PROJECT SIGN-

PROJECT SIGN INFORMATION-

PERMIT #

SITE ADDRESS

GENERAL CONTRACTORS NAME

PRIMARY CONTACT NAME

CONTRACTOR PHONE NUMBER

CONTRACTOR EMAIL ADDRESS

CITY'S CONSTRUCTION HOURS ALLOWED

(8 AM - 8 PM)

APPLICANT SHALL ACKNOWLEDGE IN WRITING A CONSTRUCTION FENCE SHALL BE INSTALLED THAT COMPLIES WITH PVMC 4-1101



HODGES GARAGES

845 W 52nd TERR
KANSAS CITY, MO

913.385.9945

DETACHED GARAGE PLAN
Sarah Clutter
6528 Granada Dr
Prairie Village, MO 66208



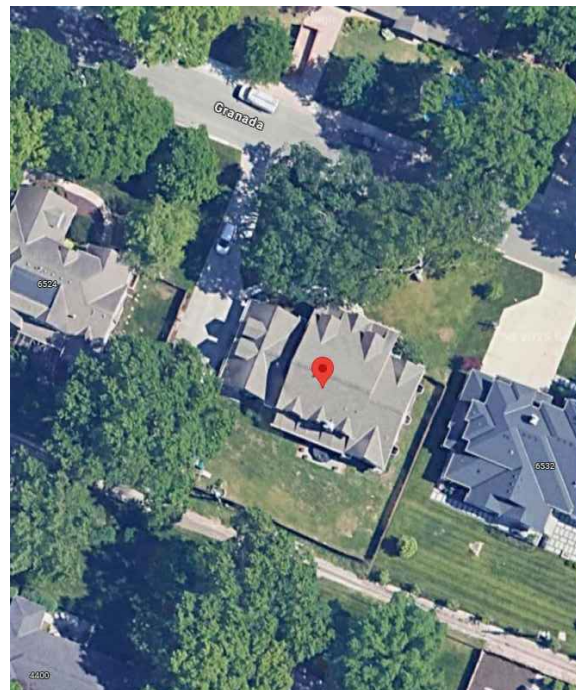
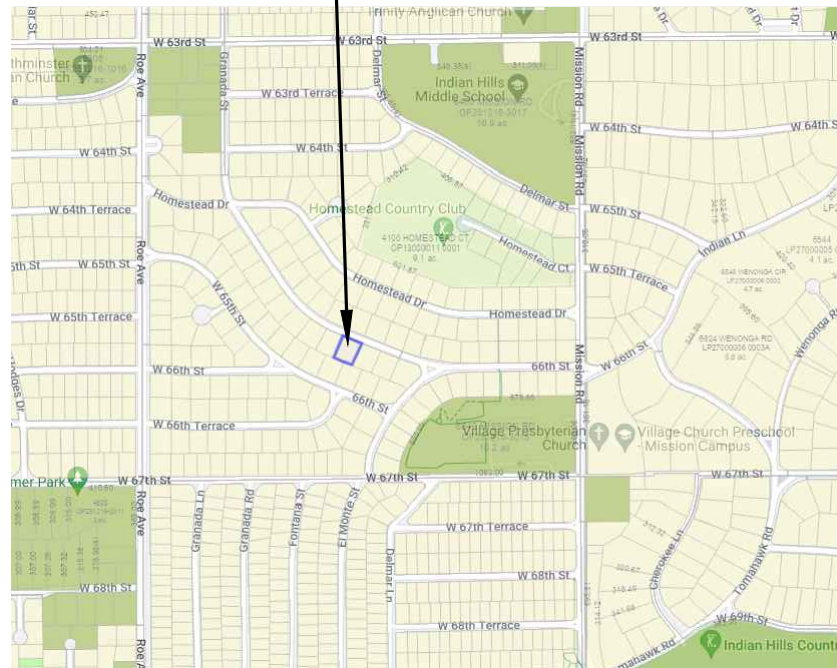
SHAW HOFSTRA + ASSOCIATES
1800 CENTRAL STREET, SUITE 203
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P: 816.421.0605
ARCHITECTURAL CORPORATION
Certificate of Authority No. 00111130

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JOB NO. 6525 GRANADA	
DRAWN BY: sst	
ISSUE	DATE
1 HOA-CONNECTING	5-6-25
2 BZA	8/12/25

SHEET NUMBER
G1
PERMIT 11-12-24

LOCATION - 6528 GRANADA DR



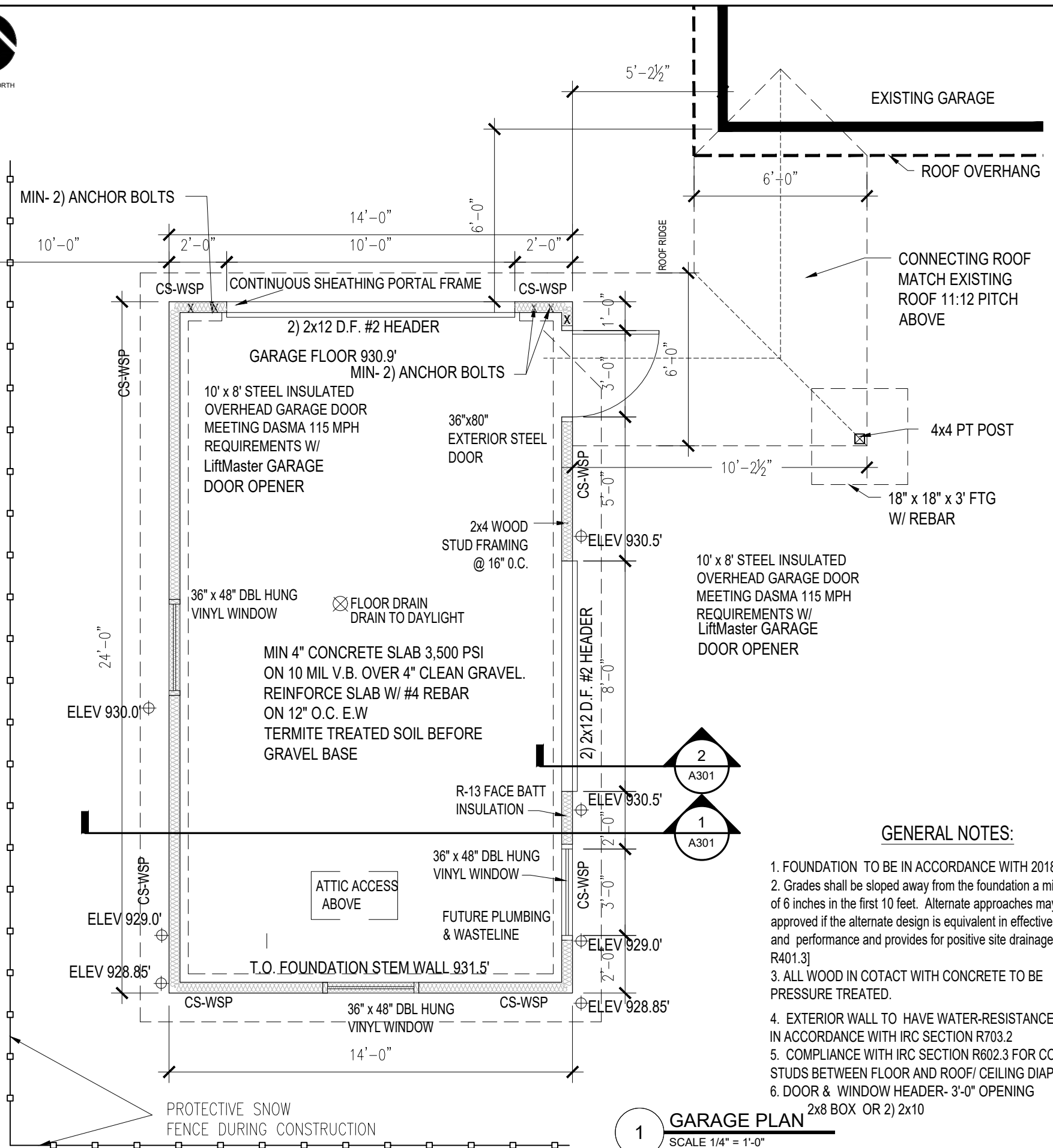
FRAMING GENERAL

- ALL LUMBER SIZES ARE FOR DOUGLAS FIR-LARCH UNLESS NOTED OTHERWISE.
- ALL HEADERS TO BE MIN (2) #2-2x10 UNLESS NOTED OTHERWISE.
- BLOCK CANTILEVERS, DOORJAMBS, AND OVER BEAMS.
- ALL HEADERS TO BEAR ON A MINIMUM OF (2) 2x4 STUD POSTS UNLESS NOTED OTHERWISE.
- INTERIOR NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE.
- WHERE JOISTS RUN PARALLEL TO FOUNDATION WALLS, SOLID BLOCKING FOR A MINIMUM OF (3) JOIST SPACES BE PROVIDED TO A MAXIMUM OF 2'-0" CENTERS TO TRANSFER LATERAL LOADS ON THE WALL TO THE FLOOR DIAPHRAGM. THE BLOCKING SHALL BE SECURELY NAILED TO THE JOISTS AND FLOORING. NAIL JOISTS AND BLOCKING TO SILL PLATE WITH (3) 10d NAILS (IRC SECTION R602.3.(1)).
- IF DUCTS ARE INSTALLED IN THE FIRST JOIST SPACE(S), NAIL 2x4s FLAT AT 2'-0" CENTERS WITHIN THE JOIST SPACE(S) AND THEN PROVIDE SOLID BLOCKING, INSTALLED UPRIGHT, IN THE NEXT TWO JOIST SPACES. SECURE THE 2x4s TO THE SILL PLATE WITH (4) 10d NAILS.
- ALL SILLS AND SLEEPERS SUPPORTED ON CONCRETE OR MASONRY AND FURRING ATTACHED TO CONCRETE OR MASONRY SHALL BE OF DECAY RESISTANT MATERIALS.
- JOISTS UNDER BEARING PARTITIONS SHALL BE DOUBLED AND COMPLY WITH IRC SECTION R502.4.
- JOISTS FRAMING FROM OPPOSITE SIDES OVER BEARING SUPPORTS SHALL LAP MINIMUM 3" AND SHALL BE NAILED TOGETHER WITH A MINIMUM (3) 10d FACE NAILS.
- JOISTS FRAMING INTO A WOOD GIRDER OR BEAM SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OR MINIMUM 2"x2" LEDGER STRIPS.
- FRAMING OF OPENINGS -HEADERS AND TRIMMERS SHALL BE OF SUFFICIENT CROSS SECTION TO SUPPORT THE FLOOR FRAMING. TRIMMER JOISTS SHALL BE DOUBLED WHEN THE HEADER IS SUPPORTED MORE THAN 3'-0" FROM THE TRIMMER JOIST BEARING. WHEN THE HEADER SPAN EXCEEDS 4'-0", THE HEADER AND TRIMMER SHALL BE DOUBLED.
- JOISTS AT SUPPORTS SHALL BE SUPPORTED Laterally AT THE ENDS BY FULL-DEPTH SOLID BLOCKING NOT LESS THAN 2" NOMINAL THICKNESS OR BY ATTACHMENT TO A HEADER, BAND OR RIM JOIST OR TO AN ADJOINING STUD OR OTHERWISE PROVIDED WITH LATERAL SUPPORT TO PREVENT ROTATION.
- WATER-RESISTIVE BARRIER SHALL BE PROVIDED OVER ALL EXTERIOR WALLS. ONE LAYER OF No 15 ASPHALT FELT OR ANY OTHER BARRIER THAT MEETS ASTM D226 TYPE 1 FELT. (R703.2)
- WHERE CEILING JOISTS ARE NOT INSTALLED CONNECTED TO THE RAFTERS AT THE TOP PLATE AND/OR WHERE CEILING JOISTS ARE NOT INSTALLED PARALLEL TO THE RAFTERS, RAFTER TIES SHALL BE INSTALLED IN THE LOWER 1/3 OF THE ATTIC SPACE AND IN ACCORDANCE WITH TABLE 1-S1.0.
- COLLAR TIES SHALL BE PROVIDED IN THE UPPER 1/3 OF THE ATTIC SPACE IN ACCORDANCE WITH TABLE 1-S1.0.
- STUDS SHALL BE CONTINUOUS BETWEEN FLOOR, CEILING, AND/OR ROOF DIAPHRAGMS AS REQUIRED PER R602.3.
- WHERE THE ULTIMATE WIND SPEED DOES NOT EXCEED 115 MPH, THE WIND EXPOSURE CATEGORY IS B, THE ROOF PITCH IS 5:12 OR GREATER, AND THE ROOF SPAN IS 32 FEET OR LESS, RAFTER AND TRUSSES SPACED LESS THAN 24" OC SHALL BE ATTACHED TO THEIR SUPPORTING WALL ASSEMBLIES IN ACCORDANCE WITH TABLE R602.3.(1). IF NOT, RAFTERS AND TRUSSES SHALL BE ATTACHED TO THEIR SUPPORTING WALL ASSEMBLIES WITH A MECHANICAL CONNECTION CAPABLE OF RESISTING THE UPLIFT FORCE AS SPECIFIED IN



PROJECT NORTH

PROPERTY LINE



WALL TYPE KEY

2x4x9' WOOD STUD FRAMING @ 16" O.C.
CONTINUOUSLY SHEATHED W/
7/16" APA RATED SHEATHING 24/16
NAILING PATTERN 8D COMMON NAILS
6" O.C. AT EDGES & 12" O.C. IN FIELD
INTERIOR 1/2" GYPSUM BOARD & TAPED
INTERIOR 1x4 TRIM

GENERAL NOTES:

- FOUNDATION TO BE IN ACCORDANCE WITH 2018 IRC
- Grades shall be sloped away from the foundation a minimum of 6 inches in the first 10 feet. Alternate approaches may be approved if the alternate design is equivalent in effectiveness and performance and provides for positive site drainage. [IRC R401.3]
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- EXTERIOR WALL TO HAVE WATER-RESISTANCE BARRIER IN ACCORDANCE WITH IRC SECTION R703.2
- COMPLIANCE WITH IRC SECTION R602.3 FOR CONTINUOUS STUDS BETWEEN FLOOR AND ROOF/ CEILING DIAPHRAGM.
- DOOR & WINDOW HEADER- 3'-0" OPENING
2x8 BOX OR 2) 2x10

1 GARAGE PLAN
SCALE 1/4" = 1'-0"



HODGES GARAGES

845 W 52nd TERR
KANSAS CITY, MO

913.385.9945

DETACHED GARAGE PLAN
Sarah Clutter
6528 Granada Dr
Prairie Village, MO 66208



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JOB NO. 6528 GRANADA	
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ISSUE	DATE
1 HOA-CONNECTING	5-6-25
2 BZA	8/12/25

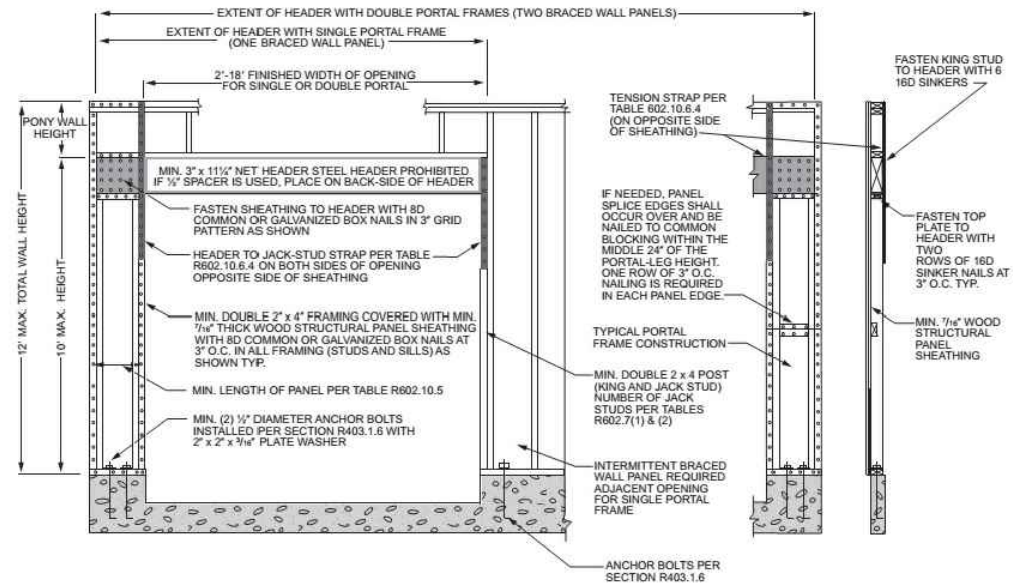
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A101
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EXPANSIVE SOILS DISCLAIMER:

THESE PLANS HAVE BEEN PREPARED BASED ON A PRESUMPTIVE ALLOWABLE BEARING CAPACITY AS ALLOWED BY IRC CODE AND THE LOCAL ENFORCING JURISDICTION.

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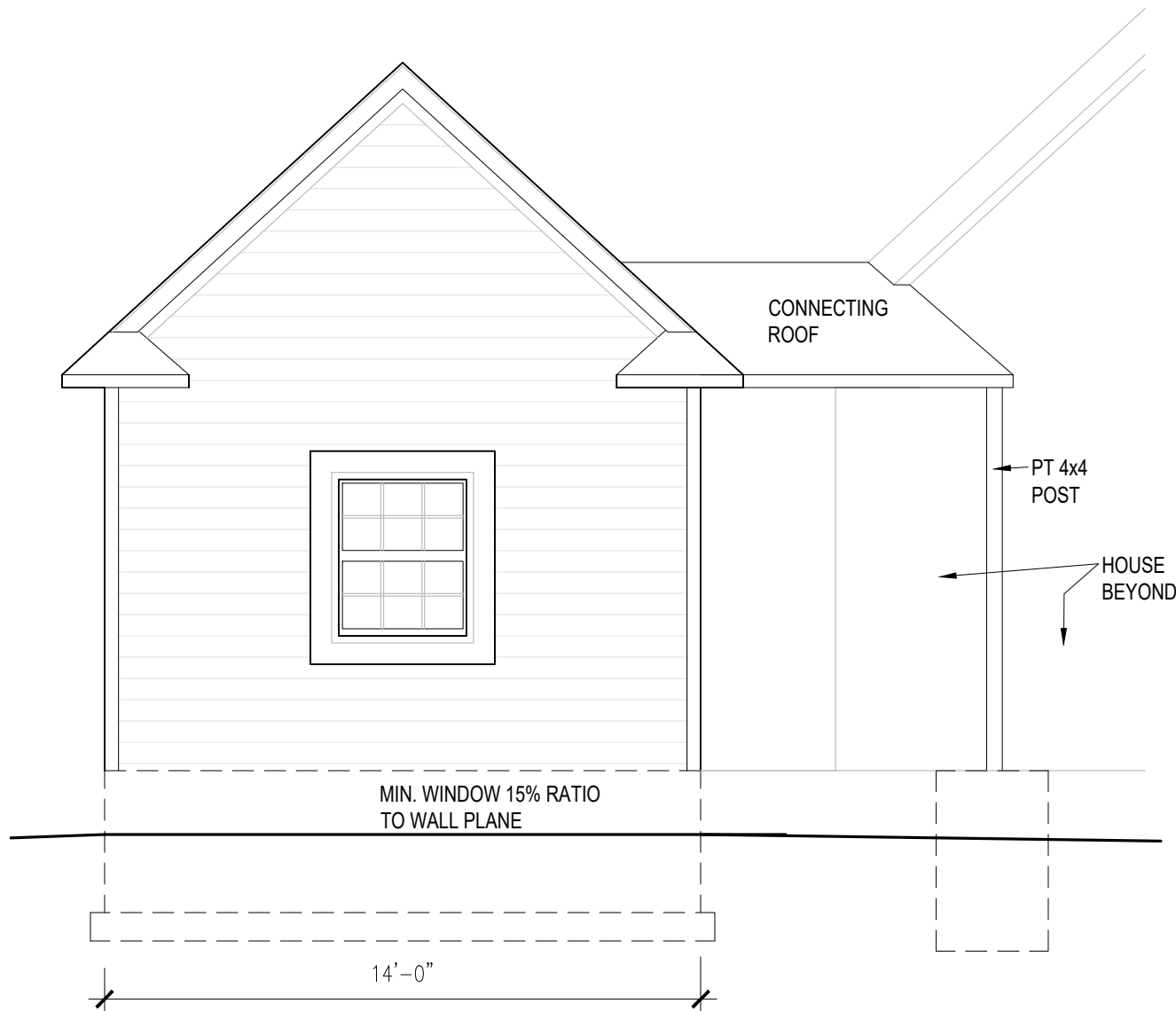
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FRONT ELEVATION

SECTION

FIG. IRC R602.10.6.3



1 SOUTH (REAR) ELEVATION
SCALE 1/4" = 1'-0"



1 NORTH (FRONT) ELEVATION
SCALE 1/4" = 1'-0"



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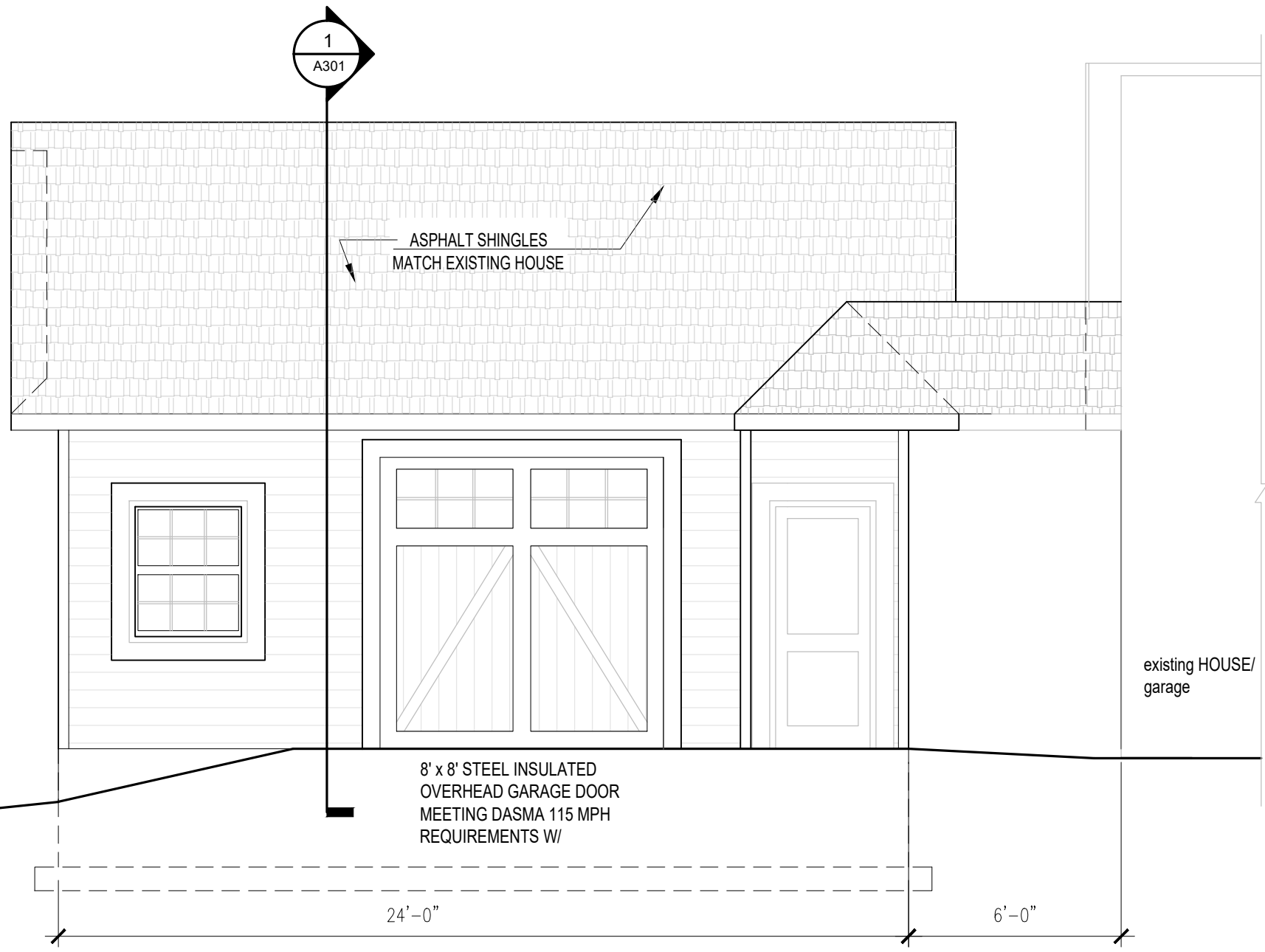


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1 WEST ELEVATION
 SCALE 1/4" = 1'-0"



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DETACHED GARAGE PLAN
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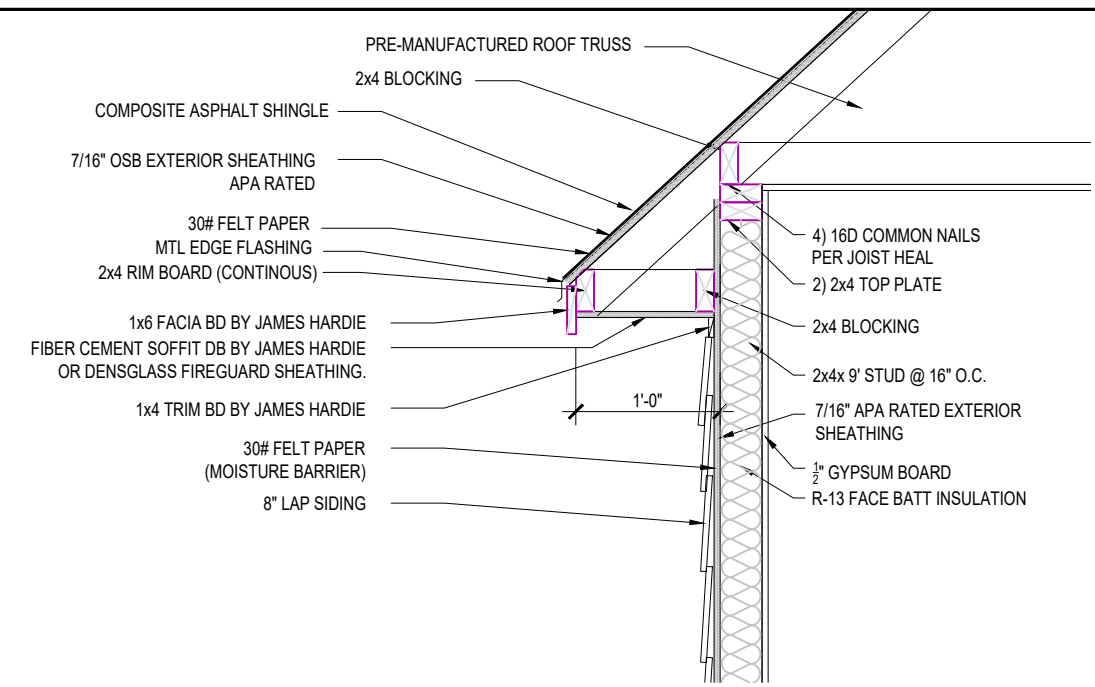


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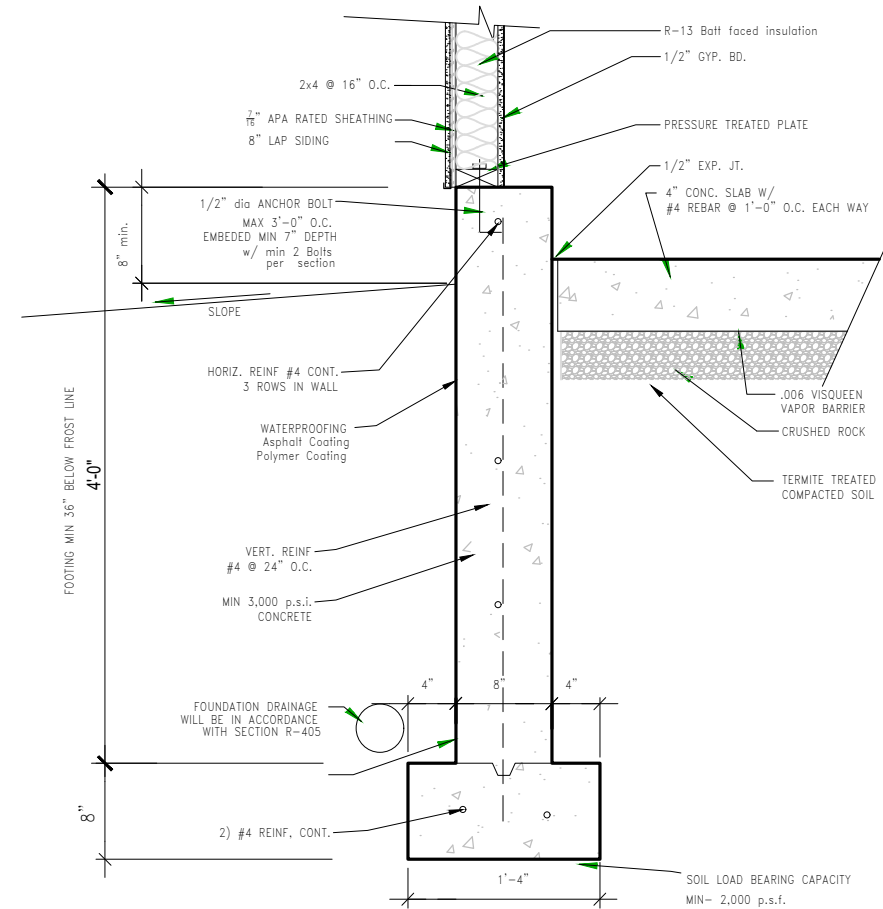
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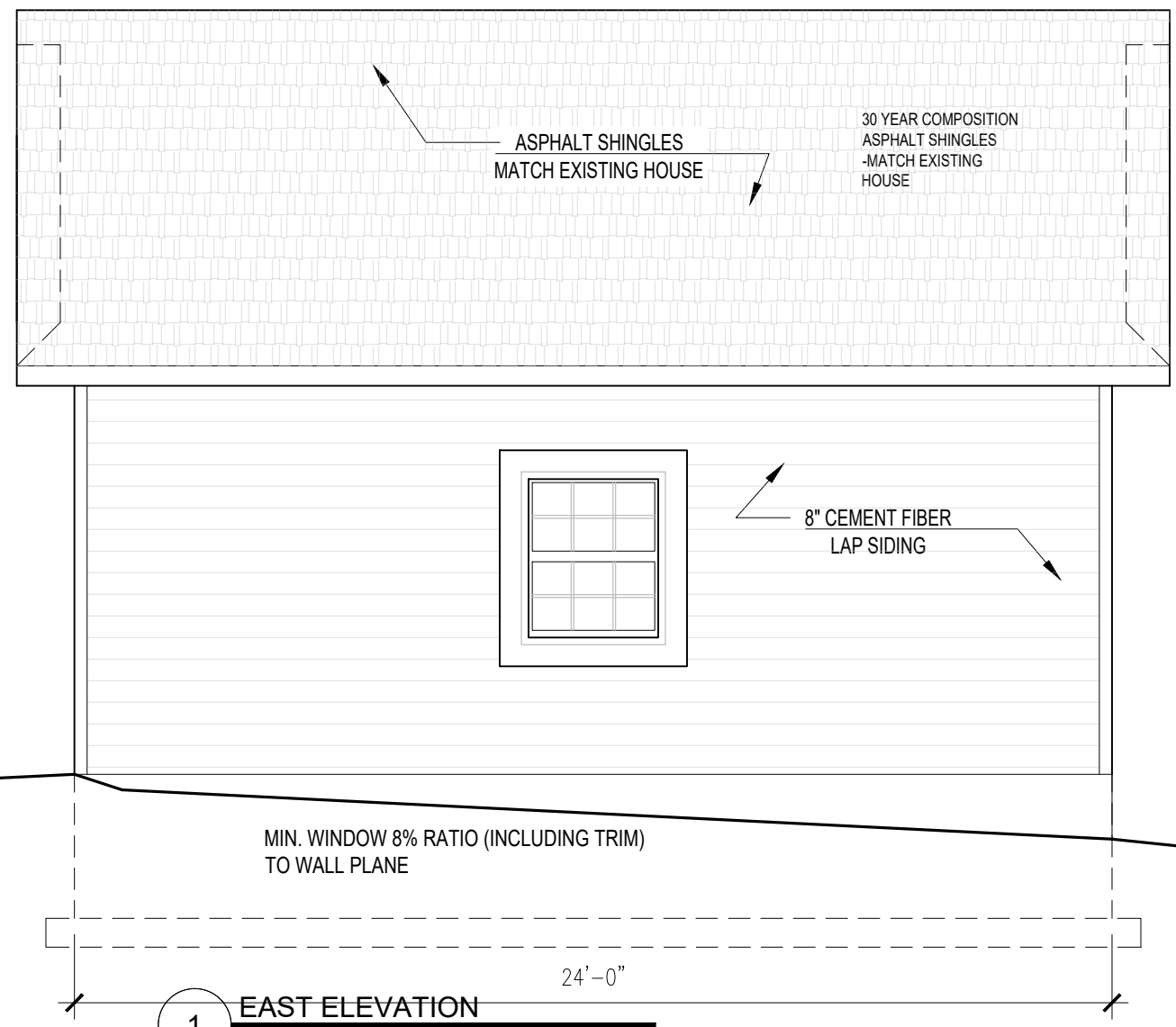
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A203	
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3 SOFFIT DETAIL
SCALE 3/4" = 1'-0"



2 FOOTING DETAIL
SCALE 3/4" = 1'-0"



1 EAST ELEVATION
SCALE 1/4" = 1'-0"



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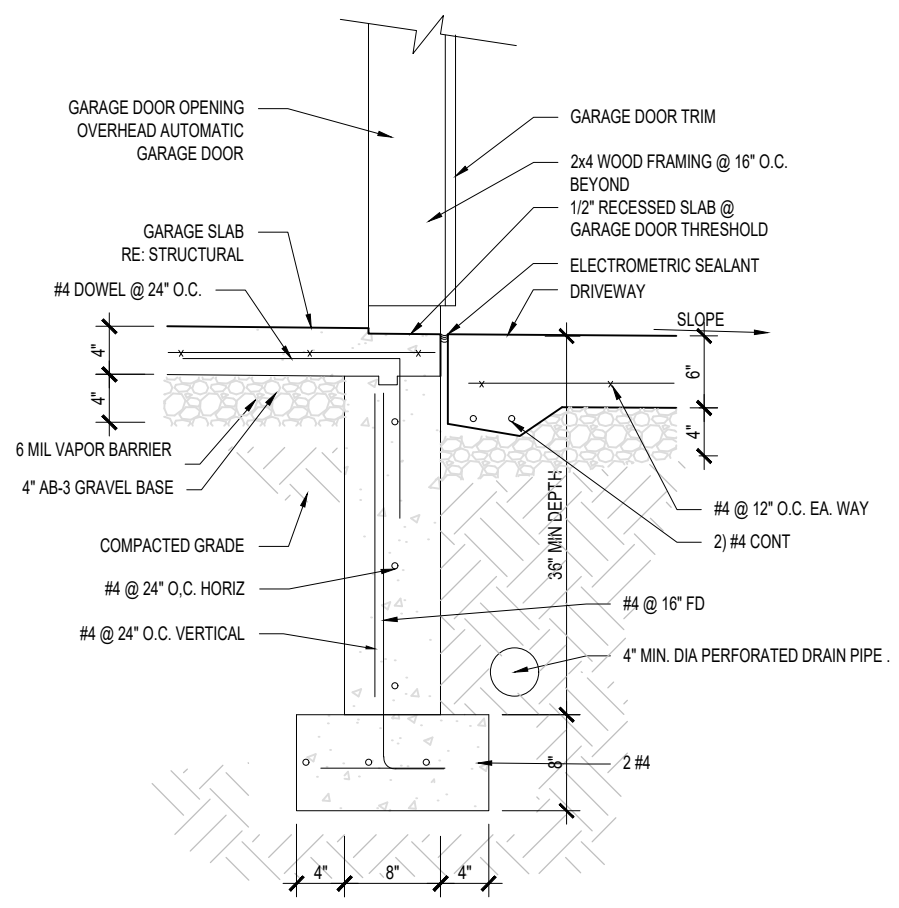


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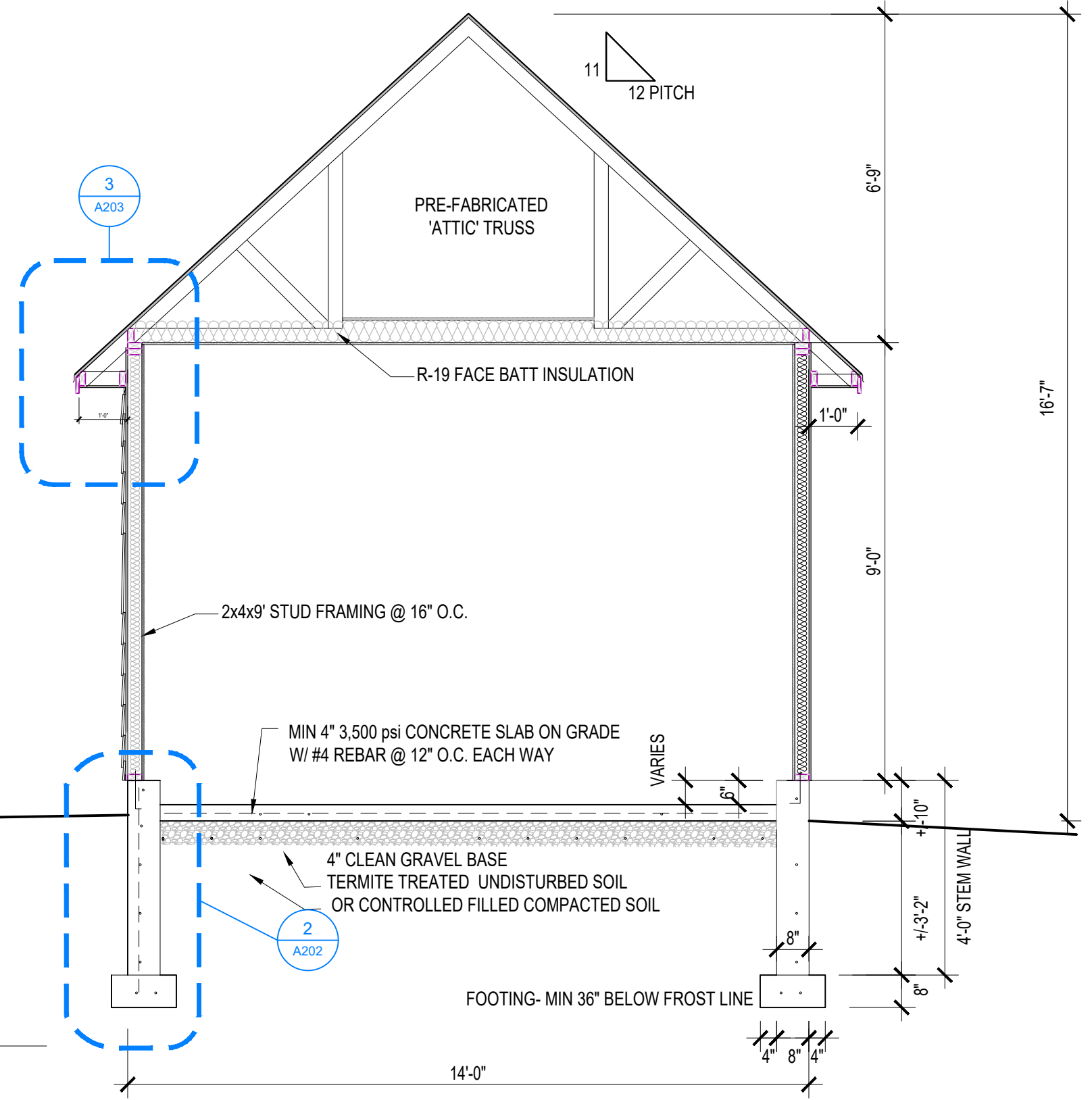
JOB NO.	6825 GRANADA
DRAWN BY:	sst
ISSUE	DATE
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2	BZA 8/12/25

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A301
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2 FTG DETAIL @ O.H. GARAGE DOOR
 SCALE 3/4" = 1'-0"

FOUNDATION ANCHORAGE
 Sill plates shall be bolted to the foundation wall with a minimum 1/2" diameter anchor bolts embedded at least 7 inches into the concrete. Bolts shall be spaced no greater than 6 feet on center. There shall be a minimum of two bolts per plate section, with a bolt placed within 12 inches, and not closer than 7 bolt diameters, of the end of each plate section. The bolts shall be located in the middle third of the width of the plate. A properly sized nut and washer shall be tightened on each bolt to the plate. (NOTE: 7" embedment + 1 1/2" sill plate + 3/4" for nut and washer exceeds a 9" long bolt.) [IRC R403.1.6]
 Please note that wall bracing methods per IRC R602 may require additional anchorage



1 GARAGE SECTION
 SCALE 3/8" = 1'-0"

3
 A203

2
 A202

14'-0"

GENERAL STRUCTURAL NOTES

- The contractor shall verify dimensions and conditions before construction and notify the engineer of any discrepancies, inconsistencies, or difficulties affecting the work before proceeding.
- The contractor shall coordinate all disciplines, verifying size and location of all openings, whether shown on structural drawings or not, as called for on architectural, mechanical, or electrical drawings. All conflicts, inconsistencies, or other difficulties affecting structural work shall be called to the architect or engineer's attention for direction before proceeding.
- All design and construction work for this project shall conform to the requirements of the CURRENT 2018 IRC and the Prairie Village, KS Ordinances
- These drawings are for this specific project and no other use is authorized.
- Structural Design Load Criteria-
 - Lateral Wind V Load: 115 mph, exposure B
 - Rafter Uplift Connection Forces From Wind (ASD)- Table 802.11 16" o.c. Rafters, Spanning 12' Roof Pitch >_ 5:12 with a 115 Ultimate Wind Speed U (mph) = 70 Pounds Per Connections

AREA	MIN DEAD LOAD	MIN LIVE LOAD
EXTERIOR BALCONIES	10	60
DECKS, STAIRS	10	40
CEILING JOISTS/ ATTICS NO STORAGE	10	10
CEILING JOISTS/ ATTICS W/ STORAGE	10	20
ROOMS - NON SLEEPING	10	40
ROOMS - SLEEPING	10	30
ROOF- LIGHT COVERING	10	20
ROOF- HEAVY ROOF (CONC & TILE)	20	20
GUARDRAILS, HANDRAILS	200# LL NORMAL	
- Concrete:
 - All concrete except exterior flat work shall develop a minimum ultimate compressive design strength of 3,000 psi in 28 days, but not less than 500 pounds of cement shall be used per cubic yard of concrete regardless of strengths obtained, not over 6 gallons of water per 100 pounds of cement and not over 4 inches of slump.
 - Concrete for exterior flatwork shall have a minimum design compressive strength of 3,500 psi in 28 days, with not less than 600 pounds of cement per cubic yard of concrete, not over 6 gallons of water per 100 pounds of cement, with 6% +/- 1% air entrainment, and a maximum of 4 inches of slump.
 - All concrete is reinforced concrete unless specifically called out as unreinforced. Reinforce all concrete not otherwise shown with same steel as in similar sections or areas. Any details not shown shall be detailed per ACI 315 and meet requirements of ACI 318, current editions.
 - Control joints in dirt formed slab to be as shown on plans. Where not shown, limit controlled areas to not more than 225 square feet, or 15 feet on any side.
 - Contractor shall verify that all concrete inserts, reinforcing and embedded items are correctly located and rigidly secured prior to concrete placement.
 - Construction joints in beams, slabs, and grade beams shall occur at midspan (middle third) unless noted otherwise. Provide 2 x 4 horizontal keys at construction joints for shear transfer.
 - No aluminum items shall be embedded in any concrete.
 - Vapor Retarder (Vapor Barrier) A 6 mil polyethylene or approved vapor retarder with joints lapped a minimum of 6" is required between the concrete floor slab and the base course per IRC section R506.2.3.

- Reinforcing steel:
 - All reinforcing steel shall conform to the requirements of ASTM A615 grade 60 steel. Welded plain wire fabric shall conform to the requirements of ASTM A185.
 - Clear minimum coverage of concrete over reinforcing steel shall be as follows:
 - Concrete placed against earth: 3"
 - Formed concrete against earth: 2"
 - Slabs: 1"
 - Beams or Columns: 1-1/2"
 - Other: 2"
 All coverage shall be nominal bar diameter minimum.
 - All dowels shall be the same size and spacing as adjoining main bars (splice lap 40 bar diameters or 24" minimum unless noted otherwise)
 - At corners of all walls, beams, and grade beams supply corner bars (min. 2'-0" in each direction or 40 bar diameters) in outside face of wall, matching size and spacing of horizontal bars. Where there are no vertical bars in outside face of wall, supply 3 - #4 vertical support bars for corner bars.
 - Bars marked continuous and all vertical steel shall be lapped 40 bar diameters (2'-0" minimum) at splices and embedments, unless shown otherwise. Splice top bars near midspan and splice bottom bars over supports, unless noted otherwise.
 - At all holes in concrete walls and slabs, add 2 - #5 bars (opening dimension plus 80 diameters long) at each of four sides and add 2 - #5 x 5'-0" diagonally at each of four corners of hole. Openings in 8" thick walls are reinforced similar, but with 1 - #5 instead of 2 - #5, respectively.
 - Accessories shall be as specified in latest edition of the ACI Detailing Handbook and the concrete Reinforcing Steel Institute Design Handbook. Maximum accessory spacing shall be 4'-0" on center, and all accessories on exposed surfaces are to have plastic coated feet.

- Timber and Wood Framing:
 - Quality and construction of wood framing members and their fasteners for load supporting purposes not otherwise indicated on the drawings shall be in accordance with the 2018 International Residential Code .
 - Headers and rafters shall conform to #2 Douglas Fir , Southern Pine or SPF visually graded lumber, with an allowable fiber stress in bending of 1,000 psi minimum and an elastic modulus of 1,600,000 psi.

MINIMUM SIZES:

 - Studs: 2X4 stud grade, SPF, HF, DF, or frngr. jtd. machine graded studs.
 - Bottom Plate: 2X4 #3, SYP.
 - Top Plate: 2X4 #3, SYP, SPF, HF.
 - Roof Sheathing: 7/16" APA Rated.
 - Bridging of stud bearing walls and shear walls shall be solid, matching plywood joints.
 - Joist blocking and bridging shall be solid wood or cross bridging of either wood or metal straps. Spacing, in any case, shall not exceed 8'-0".
 - Plywood sheathing of shear walls or roof diaphragms shall be edge nailed with 8d nails at 6" on center and nailed to intermediate framing and/or blocking members with 8d nails at 12" on center unless otherwise noted on the drawings.
 - Sill plates (termite & decay resistance wood) shall be bolted to concrete walls or steel beams with 1/2" diameter ANCHOR bolts at spaced not more than 3'-0" on center, embedded min 7" and no more than 1'-0" from foundation wall ends. Bolts shall be located in the middle third of the width of the plate. There shall be not fewer than two bolts per plate section with one bolt not less than seven bolt diameter from each end of the plate section.
 - Joist hangers shall have Uniform Building Code approval and shall be equal to Simpson Strong Tie "JB" for wood application and "LB" for steel weld-on application.
 - Engineered lumber, min design requirements

	Fb (psi)	E (psi)	Fv (psi)
LVL	2600	1.8x10 ⁶	285
GLULAM	2400	1.8x10 ⁶	190
PARALLAM	2600	2.0x10 ⁶	290

STRUCTURAL GENERAL NOTES CONTINUED:

- Structural Steel:
 - All anchor bolts shall be 1/2" diameter, ASTM A307 or A36 unless noted otherwise.
 - Foundations:
 - Grade beams, and retaining walls are designed to bear on engineered fill or undisturbed soil capable of safely sustaining of safely sustaining 2,000 psf.
 - Contractor shall provide for dewatering at excavations from either surface water or seepage.
 - All foundation excavations shall be inspected by a qualified soil engineer, approved by the architect and/or structural engineer, prior to placement of steel or concrete. This inspection shall be at the owner's expense.
 - All concrete in the structural portion retaining the backfill shall have attained its design strength prior to being backfilled.
 - Moisture content in soils beneath building locations should not be allowed to change after footing excavations and after grading for slabs on grade are completed. If subgrade materials become desiccated or softened by water or other conditions, recompact materials to the density and water content specified for engineered fill. Do not place concrete on frozen ground.
 - Installation of a continuous foundation drain consisting of a minimum 4 inch perforated pipe around the entire structure is required where habitable or usable space for any portion of the structure is located below grade. The top of the perforated pipe shall be at or below the area being protected. The pipe shall be placed with positive or neutral slope to minimize the accumulation of deposits in the drainage pipe. Placement of the drain tile on top of the footing is acceptable. Vertical drains shall be installed in window wells and connected directly to the perimeter foundation drain. Coarse, clean, rock shall extend 2 inches below and 6 inches above the perforated pipe, and extend 12 inches beyond the outside edge of the footing and covered with an approved filter membrane. The perforated pipe shall terminate to grade or be connected to a minimum 24 inch diameter or 20 inch square sump pit which shall extend a minimum 24 inches below the bottom of the basement floor per IRC section R405.2.3. The sump shall be capable of positive gravity or mechanical drainage to remove any accumulated water and discharge to daylight.
 - Backfill - Placing backfill prior to bracing or supporting the top of the foundation wall may cause foundation walls to become displaced or cracked. Backfilling any wall before seven days to allow the wall to gain sufficient strength to support the imposed loads is prohibited. Inspectors may require engineering certification and correction of any cracked or bowed wall conditions observed. Recommendation: Do not backfill an unsupported straight run of wall over 16 feet in length between corners and cross walls unless adequate bracing is provided or the floor framing has been set and nailed in place and anchor bolts tightened. To improve foundation drainage, backfill with washed gravel or clean crushed rock at least one sieve size larger than drain pipe perforations, to a point not less than 2' below finished grade. Encase bottom, dirt side and top of backfill with approved filter membrane. Backfill high enough so there is a minimum 6" fall in the first 10' away from the house.
 - Foundation Anchorage

Where floor joist and/or blocking are connected to the sill to provide top of wall bracing anchor bolts shall be spaced not more than 3 feet on center. Walls with monolithic slabs may have anchor bolts spaced at 6 feet on center. Sill plates shall be bolted to the foundation with minimum 1/2-inch diameter anchor bolts embedded at least 7 inches into the concrete. A bolt shall be placed within 12 inches, and not closer than 7 bolt diameters, of the end of each plate section. A properly sized nut and washer shall be tightened on each bolt to the plate. For walls over 9 feet use a minimum 2x6 plate and blockings shall be in line with anchor bolts.

Design specific anchoring may be required by the designer for walls 9 feet tall or more. These anchoring devices may be required to be secured in place to the forms prior to concrete placement.

Recommendation: It is recommended that a minimum 2x6 inch sill plate be used to ensure sufficient strength is provided to transfer loads from the anchor bolts to the floor system.
 - Top of Wall Restraint

Where joists run perpendicular to foundation walls, they shall be fastened to plates with three 8d toenails. Where joists run parallel to full height foundation walls, solid blocking for a minimum of three joist spaces shall be provided at a maximum of 3 feet centers to transfer lateral loads on the wall to the floor diaphragm. The blocking shall be securely nailed to the joists and flooring. If ducts are installed in a joist space(s), nail 2 x 4's flat 3 foot o.c. within the joist space(s) and then provide the solid blocking as noted below in a total of 3 joist spaces. Secure each 2x4 to the sill plate with 3-8d nails.
 - Grades shall be sloped away from the foundation a minimum of 6 inches in the first 10 feet. Alternate approaches may be approved if the alternate design is equivalent in effectiveness and performance and provides for positive site drainage. Grading shall conform to that illustrated on the approved plot plan.
- Garage Notes
 - The Garage Floor shall slope towards the garage doorways or slope to a trench or untrapped drain that discharges directly to the exterior above grade.
 - insulated Garage doors to meet DASMA 115 mph requirement.
 - Garage door H-frame for the attachment of the track and counter balance shall consist of the following: 2x6 vertical jambs running from floor to ceiling attached with 1 3/4"x 120 nails at 7" centers for the attachment of counter balance system.
 - Provide weather sealing/ weatherstripping around door perimeter.
- Exterior Walls Sheathing
 - All exterior w3alls shall be sheathed per any one of these following options:
 - 7/16" APA-rated plywood/ OSB with 8d nails @ 6" o.c. at edges and 12" o.c. in the field

SHEATHING AND FRAMING FASTENING SCHEDULE		
BUILDING COMPONENT	MATERIAL	FASTENING
ROOF SHEATHING1	7/16" PLYWOOD	16 GA x 1-3/4" STAPLES AT 3" OC EDGES AND 6" OC IN FIELD
	1x4 #3 FURRING	1/2" CROWN STAPLES
FLOOR SHEATHING1	3/4" T&G YELLOW PINE PLYWOOD APPLIED PERPENDICULAR TO JOISTS AND ENDS STAGGERED	8d COMMON NAILS AT 6" OC EDGES AND 12" OC IN THE FIELD
		14 GA x 2" STAPLES AT 4" OC EDGES AND 8" OC IN THE FIELD
CEILING COVERING1	1/2" GYPSUM SHEATHING	12.5 GA x 1-1/2" RING OR SCREW SHANK NAILS AT 6" OC EDGES AND 8" OC IN THE FIELD
		7" OC NAILED / 12" OC SCREWED WITH 13 GA, 1-3/8" LONG, 19/64" HEAD; 0.098 DIA, 1-1/4" LONG, ANG.-RINGED; 5d COOLER NAIL, 0.086 DIA, 1-5/8" LONG, 15/64" HEAD; OR GYP BD NAIL, 0.086 DIA, 1-5/8" LONG, 9/32" HEAD
INTERIOR WALL COVERING1	1/2" GYPSUM SHEATHING	8d COMMON NAILS; 1-5/8" GALVANIZED STAPLES; 1-1/4" SCREWS, TYPE W OR S-AT 4" OC EDGES AND 8" OC IN THE FIELD
EXTERIOR WALL SHEATHING	MIN 3/8" APA RATED SHEATHING	8d COMMON NAILS AT 6" OC EDGES AND 12" OC IN THE FIELD
CONVENTIONAL WOOD FRAMED WALLS	*SUPPORTING 2 FLOORS, ROOF, AND CEILING OR LESS. *HEIGHT: 10'-0" OR LESS *SIZE: NOM 2x4 (NOM 2x6 WHEN SUPPORTING 2 FLOORS, CEILING, AND ROOF) *SPECIES: DOUG-FIR, HEM-FIR, SOUTH PINE, SPRUCE-PINE-FIR *MAXIMUM SPACING 16" OC *STUDS 10' LENGTH OR LESS SHALL BE #3 STANDARD, OR STUD GRADE *STUDS OVER 10' LENGTH SHALL BE MIN #2 GRADE	*TOE NAIL RIM JOIST TO SILL OR TOP AT 6" OC *TOE NAIL STUD TO TOP AND SOLE PLATE: 8d COMMON AT 6" OC; 3"x0.131" AT 6" OC; 3"x0.131" AT 8" OC *END NAIL TOP AND SOLE PLATE TO STUD: (4) 8d COMMON; (4) 3"x0.131" *FACE NAIL BUILT-UP CORNER STUDS: (2) 16d COMMON; (3) 3"x0.131" *FACE NAIL BUILT-UP CORNER STUDS (AT BRACED WALL PANELS): 16d AT 24" OC; 3"x0.131" AT 16" *FACE NAIL JACK STUDS/TRIMMERS SUPPORTING HEADERS WITH: 16d COMMON NAILS AT 16" OC; 3"x0.131" AT 12" OC *FACE NAIL DBL TOP PLATE: 10d NAILS AT 6" OC; 16d COMMON AT 16" OC; 3"x0.131" AT 12" OC; 3"x0.128" AT 12" OC *DBL TOP PLATES WITH MIN 48" OFFSET OF EACH. FACE NAIL LAPPED AREA WITH: (8) 16d COMMON; (12) 3"x0.131"; (12) 3"x0.128" *FACE NAIL DBL TOP PLATES AT LAPPED CORNERS AND INTERSECTIONS WITH: (2) 16d COMMON; (3) 3"x0.131"; (3) 3"x0.128" *FACE NAIL SOLE PLATE TO FRAMING SYSTEM WITH: 16d COMMON AT 16" OC; 3"x0.131" AT 12" OC *TOENAIL BRIDGING TO JOIST. EACH END: (2) 8d COMMON; (2) 3"x0.131"; (3) 3"x0.128" *FACE NAIL LEDGER STRIPS SUPPORTING JOISTS OR RAFTERS WITH: (3) 16d COMMON; (4) 3"x0.131"; (4) 3"x0.128"
CONVENTIONAL WOOD HEADER FRAMING	PER PLAN	*TOENAIL HDRS TO WALL STUDS WITH (4) 8d NAILS AT EACH END. *FACE NAIL DOUBLE PIECE HEADERS WITH 1/2" SPACERS WITH 16d COMMON NAILS AT 16" OC CENTERS ALONG EACH EDGE. *IF NO 1/2" SPACER, NAIL WITH 3"x0.131" NAILS AT 12" CENTERS EACH EDGE, OR 3"x0.120" NAILS AT 8" CENTERS EACH EDGE
RAFTER TIES ²	MIN 2x4 MEMBERS AT EACH RAFTER	REF TABLE R802.5.2
COLLAR TIES	MIN 1x4 MEMBERS AT 48" OC	FACENAIL TO RAFTERS IN UPPER 1/3 OF ATTIC SPACE WITH (3) 10d NAILS AT EACH

1. NOTE: ALL SHEATHING MATERIALS TO BE APPLIED PERPENDICULAR TO JOISTS AND ENDS STAGGERED.
2. RAFTER TIES SHALL NOT BE REQUIRED WHEN A STRUCTURAL RIDGE HAS BEEN PROVIDED AND ADEQUATELY DESIGNED (AS IN A FULLY VAULTED ROOM). SUCH SHALL BE NOTED AS "STRUCTURAL" ON THE PLAN.

BUILDING COMPONENT	FASTEN TO	FASTEN WITH
RAFTERS	TO RIDGE/VALLEY/HIP RAFTERS	TOENAIL WITH (4) 16d ENDNAIL WITH (3) 16d
	TO PLATE	TOENAIL WITH (3) 16d
CEILING JOISTS	TO TOP PLATE	TOENAIL WITH (3) 8d AT EACH END
	WHERE CEILING JOISTS RUN PARALLEL TO RAFTERS	TOENAIL WITH (3) 8d AT EACH END
FLOOR JOISTS	TO SILL OR GIRDER	TOENAIL WITH: (3) 8d COMMON; (3) 3"x0.131"; (4) 3"x0.128"
	TO RIM JOIST	ENDNAIL WITH: (3) 16d COMMON; (4) 3"x0.131"; (4) 3"x0.128"
BRACED WALL PANELS PERP TO FRAMING MEMBERS ABOVE/BELOW; PARALLEL TO FRAMING MEMBERS ABOVE/BELOW:	TO FRAMING MEMBER	SOLE PL, 16" OC WITH: (3) 16d COMMON; (4) 3"x0.131" TOP PL, 6" OC WITH: 8d COMMON; 3"x0.131"
	TO FRAMING AND BLOCKING AT 16" OC	SOLE PL, 16" OC WITH: (3) 16d COMMON; (4) 3"x0.131" AND AT EACH BLOCK: (3) 16d COMMON; (4) 3"x0.131" TOP PL, 6" OC WITH: 8d COMMON; 3"x0.131" AND AT EACH BLOCK: (3) 8d COMMON; 3"x0.131"

NOTE: MEMBER THICKNESS AND FASTENING LISTED IN THIS SCHEDULE ARE MINIMUM IRC REQUIREMENTS. SPECIFIC PROJECT REQUIREMENTS NOTED WITHIN THE STRUCTURAL OR ARCHITECTURAL DRAWINGS, NEEDING TO BE MORE STRINGENT, SHALL BE FOLLOWED



HODGES GARAGES
845 W 52nd TERR
KANSAS CITY, MO

913.385.9945

DETACHED GARAGE PLAN
Sarah Clutter
6528 Granada Dr
Prairie Village, MO 66208



SHAW HOFSTRA + ASSOCIATES
1800 CENTRAL STREET, SUITE 203
KANSAS CITY, MISSOURI 64108
P- 816.421.0505

ARCHITECTURAL CORPORATION
Certificate of Authority No. 00111130
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JOB NO.	6525 GRANADA
DRAWN BY:	sst
ISSUE	DATE
1	HOA-CONNECTING 5-6-25
2	BZA 8/12/25

SHEET NUMBER
STRUCTURAL NOTES 1
PERMIT 11-12-24

8/18/25

Clutter Home

6528 Granada Drive

Prairie Village, KS 66208

Dear Neighbors,

We are writing to update you regarding our plans to build a new garage on our property.

We are requesting a variance from the city of Prairie Village Board of Zone Appeals for our side-yard setback. After our original design was approved by the city of Prairie Village, we submitted to the Indian Fields HOA. The Indian Fields HOA required additional updates and multiple redesigns to our project. To gain approval from the Indian Fields HOA, we decreased the size of the garage, moved the garage to a 10-foot side-yard setback, and attached the structure. In complying with the HOA guidelines, we now need an additional variance from the city. The garage will match the aesthetic of our home.

The Board of Zoning Appeals requires that we notify all property owners within 200 feet of our property and hold a meeting to provide the opportunity to ask questions and to raise concerns regarding the variance. Accordingly, you are invited but not required to attend a meeting at our home on Tuesday, August 26 from 5-6 pm (I am driving carpool after that!). The meeting will document attendance and views on the project. This is a voluntary opportunity to come and ask questions. Also, please feel free to reach out to Brad or myself if needed!

Thank you so much for your time and patience with this project.

Sincerely,

Brad and Sarah Clutter

Building and Zoning Meeting
Aug 26, 2025 5-6pm

No one came in person

- 2 neighbors spoke with me outside expressing their empathy at how long this has taken and hope it gets done soon

- one neighbor text "you poor things. I am sorry this is taking up so much of your time"

- one said "I'm so sorry you are dealing with all of this. We can't make the 26M but are happy for you to do what you want. Hope it works out!"

STAFF REPORT

TO: Prairie Village Board of Zoning Appeals
FROM: Chris Brewster, Multistudio, Planning Consultant
DATE: October 7, 2025 Board of Zoning Appeals Meeting

Application: BZA 2025-03

Request: Variance increase the permitted building coverage from 30% to 32.19%.

Action: *A variance request requires the Board of Zoning Appeals to evaluate facts and weigh evidence, and a majority of the Board must find that all 5 criteria for a variance have been met in order to approve the request.*

Property Address: 6748 Fontana

Applicant: Doug Levota, Owner

Current Zoning & Use: R1-B Single-Family Residential – Single-family house

Surrounding Zoning & Use: **North:** R-1B Single-Family Residential – Single-family house
East: R-1B Single-Family Residential –Single-family house)
South:R-1B Single-Family Residential – Single-family house
West: R-1B Single-Family Residential – Single-family house

Legal Description: PRAIRIE VILLAGE LOT 10 BLK 8 PVC-0352

Property Area: 0.18 acres (7,723.8 s.f.)

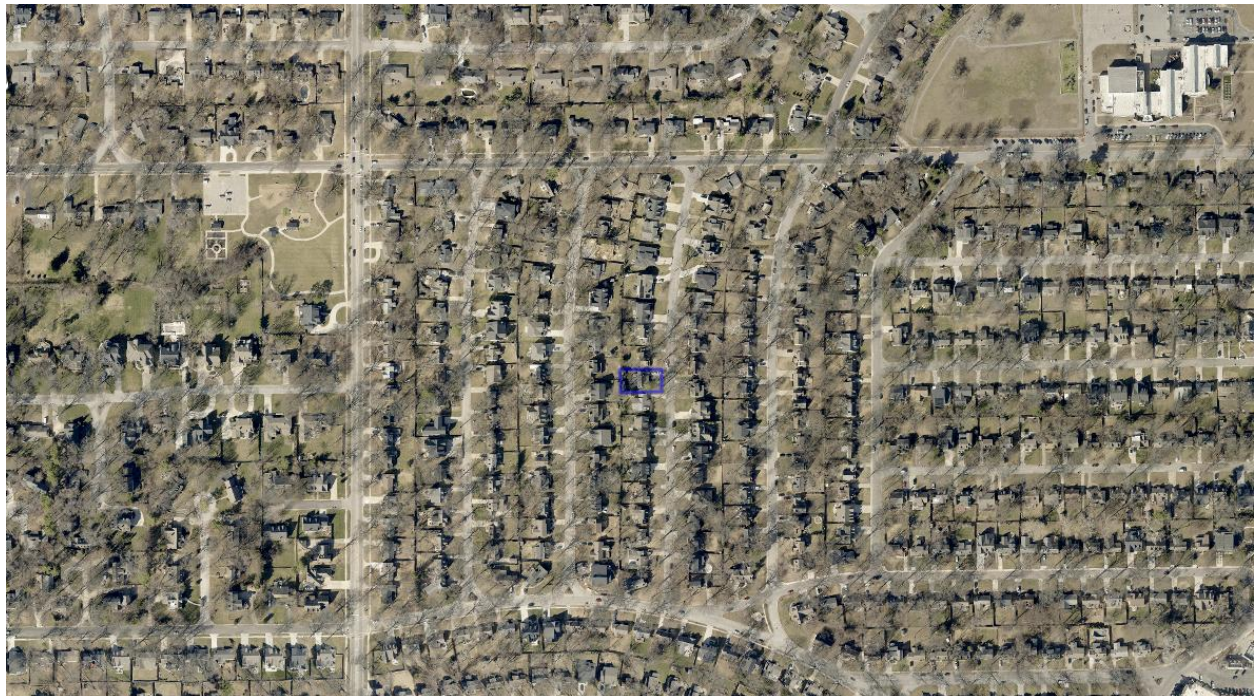
Related Case Files: None;

Attachments: Application, variance request form, site & building plans

General Location – Map



Aerial Map



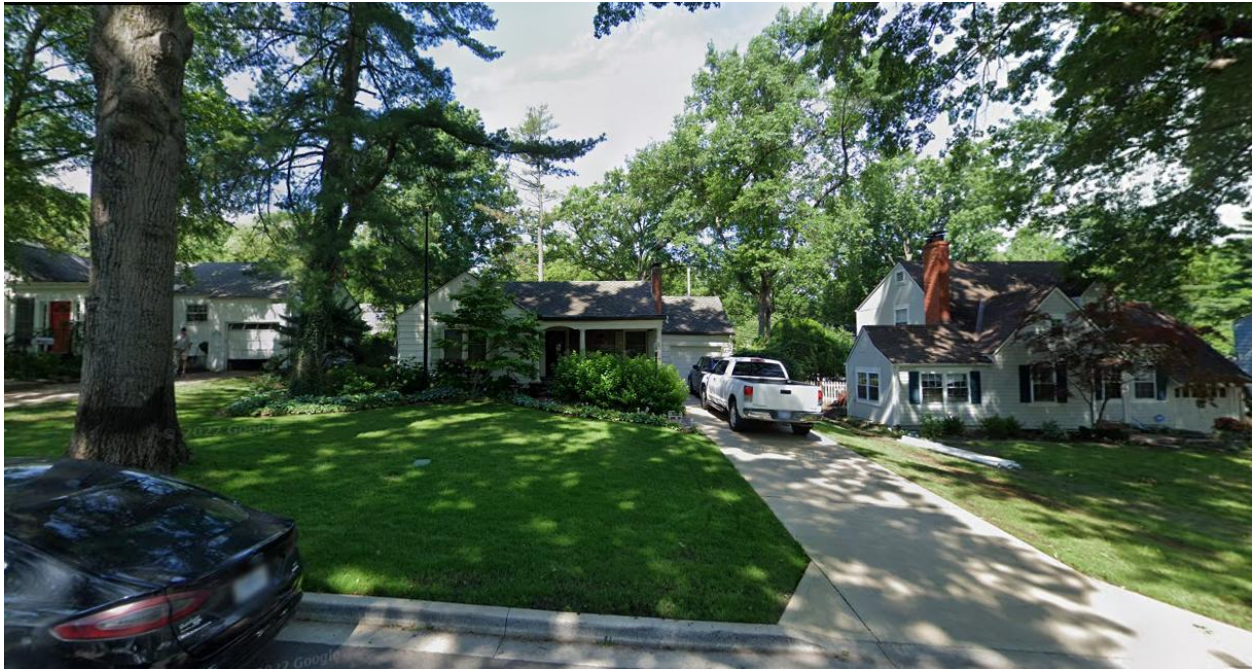
Aerial Lot



Birdseye View



Street View



Looking west on Fontana at 6748 Fontana.

SUMMARY:

This application requests a variance for building coverage standards from 30% to 32.19%. The application is for the tear down of an existing home and a rebuild of a new home. A combination of the proposed principal building, and retaining an existing deck with pergola and accessory shed would exceed the allowed 30% building coverage.

The applicant had a neighborhood meeting on September 26, 2025, as required by the Prairie Village Resident Participation Policy and has supplemented the application with background on that meeting.

DETAILS:

The property is zoned R-1B and proposes to tear down of an existing single-family house and rebuild a new single-family house. The lot is 7,723.8 square feet and is approximately 65 feet wide by 120 feet deep. The lot is situated mid-block on the west side of Fontana Street between 67th Street and 69th Street. All property in the vicinity is zoned R1-B and used for single-family homes.

R-1B requires the following coverages:

- 30% Building coverage [19.08.015 \(a\)](#)

- 40% Impervious coverage [19.08.015 \(a\)](#)

The building coverage limit addresses building scale and massing in relation to the lot and includes all structures over 30 inches (principal and accessory); the impervious coverage limit addresses drainage in relation to the lot, and includes all impervious surfaces.

This application proposes the following structures:

- House 2,301 s.f.
- Shed (existing) 121.92 s.f.
- Deck w/ pergola (existing) 63.89 s.f.
- Total building coverage 2,486.81 s.f.

This results in a 32.19% building coverage, exceeding the 30% limit by 2.19 % or 169.67 s.f.

[Note: the proposed impervious coverage is 3,363.5 s.f. and under the permitted impervious coverage limit for this lot, which is 3,389.52 s.f. (40% of lot, plus 300 s.f. exemption for lots under 10,000 square feet.)]

ANALYSIS:

[Section 19.54.030](#) of the Zoning Ordinance requires the Board to find that **all five** of the following conditions are met to grant a variance. If the Board finds that any one of these conditions is not met, a variance should not be granted:

A. Uniqueness

That the variance requested arises from such condition which is unique to the property in question and which is not ordinarily found in the same zone or district; and is not created by an action or actions of the property owner or the applicant.

In order for the property to meet the condition of uniqueness, it must have some peculiar physical surroundings, shape, or topographical condition that would result in a practical difficulty as distinguished from a mere inconvenience to utilize the property without granting the variance.

The property meets the minimum requirements for R-1B lots and is 65 feet by 120 feet (60' x 100' is the minimum). It is situated mid-block among similar lots on both sides of the street, ranging from is approximately 62 feet wide to 75 feet wide. The primary differences in width or depths occur at corner lots or are due to slight curve of the block. There is an irregular pattern of larger lots to the north that results from a cross-block drainage easement that passes in an east-west fashion across all blocks in this area. Based on standard setbacks, this lot results in an approximate 3,380 s.f. buildable area, of which up to 2,317.14 s.f. can be utilized due to the 30% building coverage limit. Additionally, any accessory structures over 30 inches high also count to the building coverage limit. In this case that includes an existing shed and deck with a pergola which are proposed to be retained.

B. Adjacent Property

That the granting of the permit for the variance would not adversely affect the rights of adjacent property owners or residents.

Building setbacks are the primary standard that manages impacts on adjacent property, and this application meets all setbacks (8.8 feet on the south where 6 is required; 6 feet on the north where 6 is required; and 14.8 feet combined where 13 is required). The existing shed which is proposed to be retained also meets setbacks applicable to accessory structures (4.5 feet from rear and 6.8 feet from side, where 3 feet is required). However, the combination of the proposed principal building (2,301 s.f.), deck and pergola (63.89 s.f.), and shed (121.92 s.f.) exceeds the 30% cumulatively by 169.67 s.f., or 2.19%.

C. Hardship

That the strict application of the provisions of these regulations from which a variance is requested will constitute an unnecessary hardship upon the property owner represented in the application.

The lot has approximately 2,317.14 square feet of buildable area based on a total lot size of 7,723.8 square feet. Based on the proposed plan, to meet the 30% building coverage standard the applicant would need to remove 169.67 square feet. This would require either removal of the shed and deck, or reduction in the footprint of the principal building. The proposed principal building has a 2,301 square feet footprint, while the existing principal structure to be removed is approximately 1,600 square feet. Other new homes in the area have a similar or larger footprint than is proposed for this house; however, those that are larger tend to not have a shed or raised deck with a pergola, or are on slightly larger lots.

D. Public Interest

That the variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare.

The proposed application is a tear down and rebuild of an existing structure. Prairie Village ordinance regulates a balance between necessary reinvestment in neighborhoods with impacts on the character of the neighborhood and general community. The proposed new building meets all standards except the building coverage standard. Granting the variance would allow the applicant to retain an existing shed and a proposed deck with a pergola and not be required to reduce the footprint of the proposed house. This would allow 2.19% more building coverage than permitted by the ordinance, or 169.7 square feet. All proposed improvements are under the impervious cover limits for this lot.

E. Spirit and Intent of the Regulation

That the granting of the variance desired would not be opposed to the general spirit and intent of these regulations.

The building coverage standard is intended to regulate the scale and mass of residential buildings in relation to lots. It applies in addition to the height, setback, and massing standards for the principal building, and it applies to any structure over 30 inches high. This standard works independently of setbacks and

impervious cover standards to limit the extent of vertical structures on a lot and preserve open areas on the lot. In this application the structures meet all height, setback, and impervious coverage standards, and generally have an appropriate relationship to adjacent property, but exceed the building coverage standard by 2.19%.

EFFECT OF DECISION:

After reviewing the information submitted and considering the testimony during the public hearing, if the Board finds that **all five conditions** are met as required by state statutes and [Section 19.54.030](#) of the Prairie Village Zoning Ordinance, then it may grant the variance. If the Board does approve the variance, it should be subject to the following conditions:

1. That the variance be granted only to the extent shown with the submitted application and based on submitted plans.
2. The applicant shall revise all drainage permit application materials to show all approved and proposed impervious surfaces.
3. The variance, if approved, shall be recorded with the County Register of Deeds within 1 year of approval.

Project Description

Requested Action*

Residential Site Plan Review/Exception Request

Legal Description*

Allow a preexisting shed to remain.

Applicant Information

What are you applying for?

Planning Commission

Applicant Name*

Doug LeVota

Address*

2201 W 78th Street

Phone Number*

8168109200

E-Mail*

doglevota@gmail.com

Owner Name*

Doug LeVota

Location of Property*

6748 Fontana Street

Owner Phone Number*

8168109200

Owner E-Mail*

doglevota@gmail.com

Applicant requests consideration of the following: (Describe proposal/request in detail)*

I would like existing 10' x 12' shed to be allowed to stay.. The shed is less than 100sf over allowedable total footprint code requirements for tear down and rebuild single family residence. I have lived at this location for 23 years and I built this shed over 10 years ago.

Acknowledgement

Applicant intends to file an application with the Prairie Village Planning Commission or the Prairie Village Board of Zoning Appeals of the City of Prairie Village, Kansas (City). As a result of the filing of said application, the City may incur certain expenses, such as publication costs, consulting fees, attorney fees and court reporter fees. Applicant hereby agrees to be responsible for and to the City for all costs incurred by the City as a result of said application. Said costs shall be paid within ten (10) days of receipt of any bill submitted by CITY to Applicant It is understood that no requests granted by City or any of its commissions will be effective until all costs have been paid. Costs will be owed whether or not Applicant obtains the relief requested in the application.

Applicant Signature*

Douglas Joseph LeVota

Aug 19, 2025

Date*

08/19/2025

Doug LeVota

6748 Fontana St. • Prairie Village, KS 66208

RE: Planning Commission Plan Review – BZA Application PC-25-18

To Whom It May Concern,

I am submitting this letter at your request, as the note I entered in the Prairie Village website comment section was not legible.

I applied for and was granted a building permit for the tear-down and rebuild of a single-family residence at 6748 Fontana St., where I have lived since November 21, 2002. At the time of the permit review with Mitch Dringman, Building Official, it was determined that we were approximately 96 square feet over the allowable code requirements due to an existing 10' x 12' shed that was constructed several years ago.

To help offset this variance request, we have already reduced the home's foundation footprint by approximately 10 square feet at the front brick ledge. As a result, the project is now less than 90 square feet over the allowable code requirements.

The sole purpose of my request to appear before the Planning Commission is to seek a variance that would allow me to retain this existing shed. I believe granting this variance will allow me to preserve the functionality and character of my property, while having no adverse impact on neighboring homes or the surrounding community.

Thank you very much for your time and thoughtful consideration of this matter.

Respectfully,

Doug LeVota

New plot plan with shed and pergola

PLOT PLAN



6748 Fontana Street
 Lot 10, Block 8 of PRAIRIE VILLAGE,
 a subdivision in the city of Prairie
 Village, Johnson County, Kansas.

SURVEYOR'S NOTES:
 Subject property is outside the 100
 Year Flood plain, according to the
 FEMA FIRM Map No. 20091C0024G.
 Revised Date: August 3, 2009

The sanitary sewer elevations are
 based on GPS observations and
 field measurements.

Bearings are assumed, as shown.

The easements, and right-of-ways
 are based on the PRAIRIE VILLAGE
 PLAT.

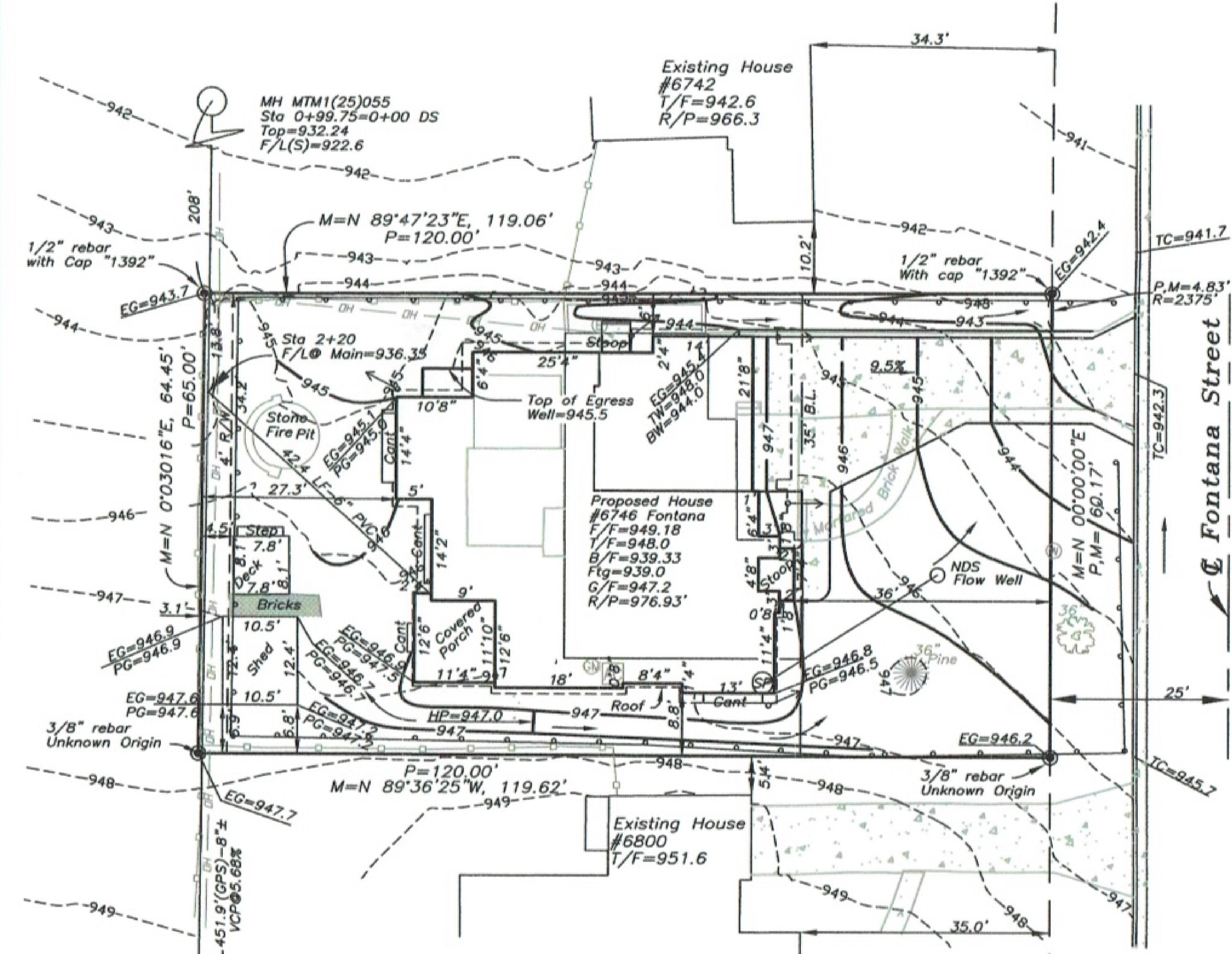
House dimensions are to outer edge
 of siding.

No Title Commitment or Title Report
 was furnished for this survey. The
 surveyor is not responsible for any
 easements or right of ways not
 shown on the referenced subdivision
 plat of record.

ZONED-R-1B 12' between houses
 Rear Yard Setback = 25' Total Side
 Yard Setback = 20% of width with
 6' Min.

Backwater Valve protection shall be
 provided for all basement level
 plumbing fixtures per IRC 2018
 P3008.

Note: Minimum side yard set back
 is 6 feet and must be a minimum
 of 12 feet from any adjacent
 dwelling structure where measured
 from foundation to foundation (does
 not include egress wells).



LEGEND

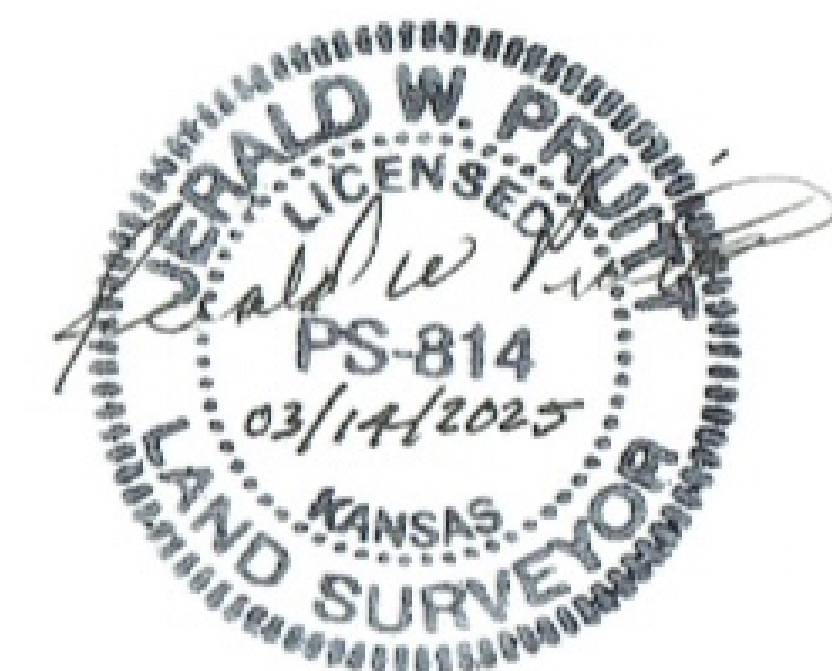
- TW - Top of Wall
- BW - Bottom of Wall
- MH - Manhole
- Ex. - Existing
- HP - High Point
- RP - Roof Peak
- EG - Existing Grade
- TC - Top of Curb
- OH - Overhead Utilities
- Ftg - Footing
- Cant - Cantilever
- EOS - End of Service
- R/W - Right of Way
- U/E - Utility Easement
- T/F - Top of Foundation
- F/F - Finished Floor
- G/F - Garage Floor
- B.L. - Building Line
- M - Measured
- P - Platted
- D - Described
- AC - Air conditioner
- SSM - Sanitary Sewer Manhole
- WM - Water Meter
- GM - Gas Meter
- EM - Electric Meter
- SP - Sump Pump
- UP - Utility Pole
- DS - Down Spout
- T - Tree, X" Denotes trunk dia.
- EEC - Existing elevation contour.
- PEC - Proposed elevation contour.
- ECF - Erosion Control Fencing
- CP - Concrete Pavement
- BP - Brick Pavement
- FM - Found monument as noted.

Proposed House #6746 Fontana
 F/F=949.18
 T/F=948.0
 B/F=939.33
 Ftg=939.0
 G/F=947.2
 R/P=976.93'

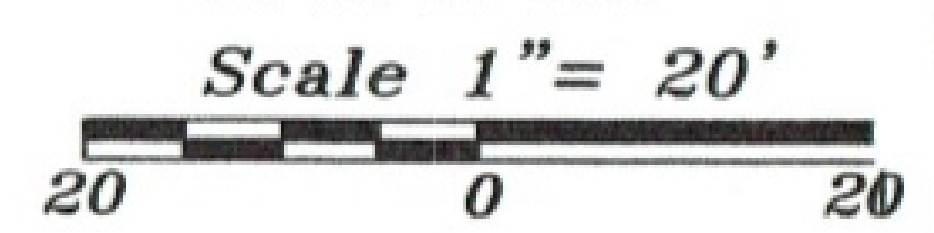
Exist House #6746 Fontana
 T/F=947.2
 F/F=948.3
 G/F=945.8
 R/P=964.1

Sta 3+41.95
 F/L Main=936.35
 42.4 LF-6" PVC
 @1.5%+1.00'
 EOS=937.99'±

I hereby certify that to the best of my
 knowledge and belief, this plot portrays the
 proposed size and location of a foundation
 on the above described property.
 Jerald W. Pruitt, PS 814,
 REVISED March 14, 2025



CLIENT:
 Doug Levota
 6748 Fontana Street
 Prairie Village, KS 66208
 Job No. 24-0404



PROPOSED LOT INFORMATION

Lot Size (per survey)	7,723.8 Sq. Ft.	
Impervious Area	3,363.55 Sq. Ft.	43.5%
House, Garage & Shed	2,464.1 Sq. Ft.	31.9%
Hard Surface	899.4 Sq. Ft.	11.6%
Front Yard Area	2,624.0 Sq. Ft.	
Driveway Area & Walk	770.0 Sq. Ft.=29.3% of Front Yard Area	
Front Yard Green Space	1,854.0 Sq. Ft.	70.7%
Roof Areas	2,618.5 Sq. Ft.	

City Staff Lot development calculations:
 Building Coverage;
 * House 2301 sf
 * shed 121.92 sf
 * deck with Pergola 63.89 sf
 Total proposed Building Coverage = 2486.81 sf
 Maximum allowed building coverage = 2317.14 sf
 Overage of Building Coverage = 169.67 sf or 2.19% of the lot.
 Supplemental notes dimensions as field measured by City
 staff shed 10.16' x 12', Pergola structure 6.5' x 9.83'

Impervious surfaces proposed as shown = 3363.5 sf
 Maximum allowed impervious surfaces = 3389.52 sf
 Left over impervious surfaces = 26.02 sf
 Mitch Dringman BOPV 9-11-2025

PRUITT AND DOOLEY SURVEYING, LLC
 7912 Elm Ave. Raytown, MO 64138
 816-699-4239, 913-652-9002
 Prairie Village Lot 10 B-8 PP-3.dwg

9/17/25

Doug and Sarah LeVota

6748 Fontana Street

Prairie Village, KS 66208

Dear Neighbors,

We hope this message finds you well. As part of our home construction project at 6748 Fontana Street, we are seeking a variance from the City of Prairie Village Board of Zoning Appeals to retain our existing shed, which has been on our property for over 10 years. The shed slightly exceeds the current footprint requirement by 2%.

Per city regulations, we are notifying all property owners within 200 feet of our home project and inviting you to a meeting to discuss this variance request. This is an opportunity to learn more, ask questions, or share any feedback.

Meeting Details:

Date: Friday, September 26th, 2025

Time: 10:00 AM

Location: Home Construction Project, 6748 Fontana Street

Attendance is voluntary, and the meeting will include a brief overview of the project and a chance to address any questions. If you cannot attend but wish to discuss the variance, please contact us at 816-810-9200 or douglevota@gmail.com

Thank you. We value our neighborhood.

Best regards,

Doug and Sarah LeVota

Hi Adam,

Our variance request meeting regarding the shed was scheduled for Friday, September 26, 2025, at 10:00 AM. I was at the property from 10:00 to 11:00, and no one attended. As required, we invited all neighbors within 200 feet of the property so they could share any questions or concerns.

Thank you again for your time and assistance.

Best regards,

Doug